

## **ADDENDUM No. 1**

VILLAGE OF TANNERSVILLE  
Gooseberry Creek Revitalization Strategy  
Implementation Phase II  
Rip Van Winkle Lake Park  
Greene County, NY  
June 30, 2023

### **TO ALL HOLDERS OF BIDDING DOCUMENTS:**

This Addendum, issued to bid document holders of record, indicates clarifications to the bid documents for the Rip Van Winkle Lake Park project. All clarifications described herein shall be incorporated into the Contractor's bid proposal. This Addendum is part of the Contract Documents. Adjustments required by each item shall be understood to apply to all document references affected by the clarifications described.

1. General: A pre-bid meeting was held for the project "virtually" on June 20, 2023 at 10:00AM. Minutes from the meeting are enclosed and are a part of this Addendum and the Contract Documents.
2. Drawings: Electrical Engineering Drawings were inadvertently not included in the original bid documents. Drawings E0.10 "Electrical Legend and Schedule," E1.10 "Electrical Site Plan," and E5.10 "Electrical Details" are hereby incorporated into the bidding documents.

Notes that all "E" series drawings are to be included in the base bid and are subject to DEDUCT Alternate No. 3-Lighting at Circular Drop-Off Area and Surface Spray Aerator.

3. Extension of Bid Due Date: The receipt of bids is hereby extended to Thursday, July 20, 2023 at 11:00AM local time. The bid location remains at the Village of Tannersville Village Hall, 1 Park Lane, Tannersville, NY at which time all bid received will be read aloud.
4. Bid Award Determination: The winning bid will be determined by an analysis of the base bid and accepting how many add or deduct alternates will be required to bring the print into conformance with the Village's budget. While the Village would like to award all of the work, some items, if necessary, may need to be eliminated while still satisfying the terms of their grant.
5. Fishing Pier: The fishing pier (Alternate No. 1) is an ADD alternate and is not to be included in the base bid.

6. Reimbursable Stormwater Management Practice Form: Bidders are advised that Document 004113.1C "Reimbursable Stormwater Management Practice Form" which is a part of the Bid Form, MUST be completed in its entirety as written. Failure to complete Document 004113.1C completely may be grounds for rejecting a bid.

Electronic drawings (PDF) can be obtained from the Village of Tannersville, Village Hall, Village Clerk (the issuing office) on Monday through Friday between the hours of 9:00AM and 4:00PM, local time upon request. Digital copies of the electric drawings may also be obtained from Eastern Contractors Association, 6 Airline Drive, Albany, NY 12205 (Telephone 518-869-0961) and the NYS Contractor Reporter.

Printed copies of the Drawings may be obtained from the Village of Tannersville, Village Hall, Village Clerk (the issuing office) on Monday through Friday between the hours of 9:00AM and 4:00PM, local time upon request.

END OF ADDENDUM NO. 1

Issued: June 22, 2023

## Meeting Notes

**Project** Rip Van Winkle Lake Park  
**Studio A Project #** 21061  
**Meeting Date** June 20, 2023, 10:00am  
**Meeting Location** Virtual - Zoom

Page | 1

### Meeting Attendees

**Studio A (SA)** Kirsten Catellier (KC), Jeff Anthony (JA)  
**Village of Tannersville** Robin Dumont

### Niko Development

**Purpose/Summary:** Pre-Bid Meeting

### Discussion:

- Introductions:
  - Studio A –Kirsten Catellier, Jeff Anthony
  - Tannersville – Robin Dumont
- Site Access:
  - Water treatment Plant – access by the Village is required at all times throughout construction
  - Site Gated – no public access during construction. Provide key or access code to Village & Studio A. If public wanders on site, ask to leave or call Robin if there is an issue.
  - Permits – All approved or in process. Studio A will provide laminated copies to the contractor to be posted at entry
- Two separate grants: One for the Upper Road/sidewalk project and the other for the park. Contractor can use access road for staging/parking.
- Stormwater form to be filled out for informational purposes only – will not be used in calculating low-bidder, but it is requested as the stormwater costs will be reimbursed to the Village by CWC. Form must be filled out completely – as written.
- Bid format has been revised – construction completion date has been moved to May 2024.
- Questions:
  - Are previous bids available?
    - No, if you would like a copy, please submit a FOIL request
  - Is the project site available for viewing?

- Yes, please contact Robin at the Village to set up a time to visit.
- Are there provisions for apprenticeships?
  - No, but prevailing wages and MWBE requirements do apply. The project is a NYS DOS funded project.
- Any repair needed to be done to upper road if damage is done?
  - No – the road is currently in disrepair and is projected to be reconstructed at a later date. If significant damage is done, there should be care taken to repair.

# RIP VAN WINKLE LAKE PARK GOOSEBERRY CREEK REVITALIZATION STRATEGY IMPLEMENTATION PHASE II

33 UPPER LAKE ROAD  
TANNERSVILLE, NY 18372

## PREPARED FOR

THE VILLAGE OF TANNERSVILLE  
MAYOR: DAVID SCHNEIDER

1 PARK LANE  
P.O. BOX 967  
TANNERSVILLE, NY 12485

PHONE: (518) 589 - 5850, EXT 1  
EMAIL: TANNERSVILLE WATER@GMAIL.COM  
ATTN: ROBIN DUMONT

D.O.S. CONTRACT #C1001671

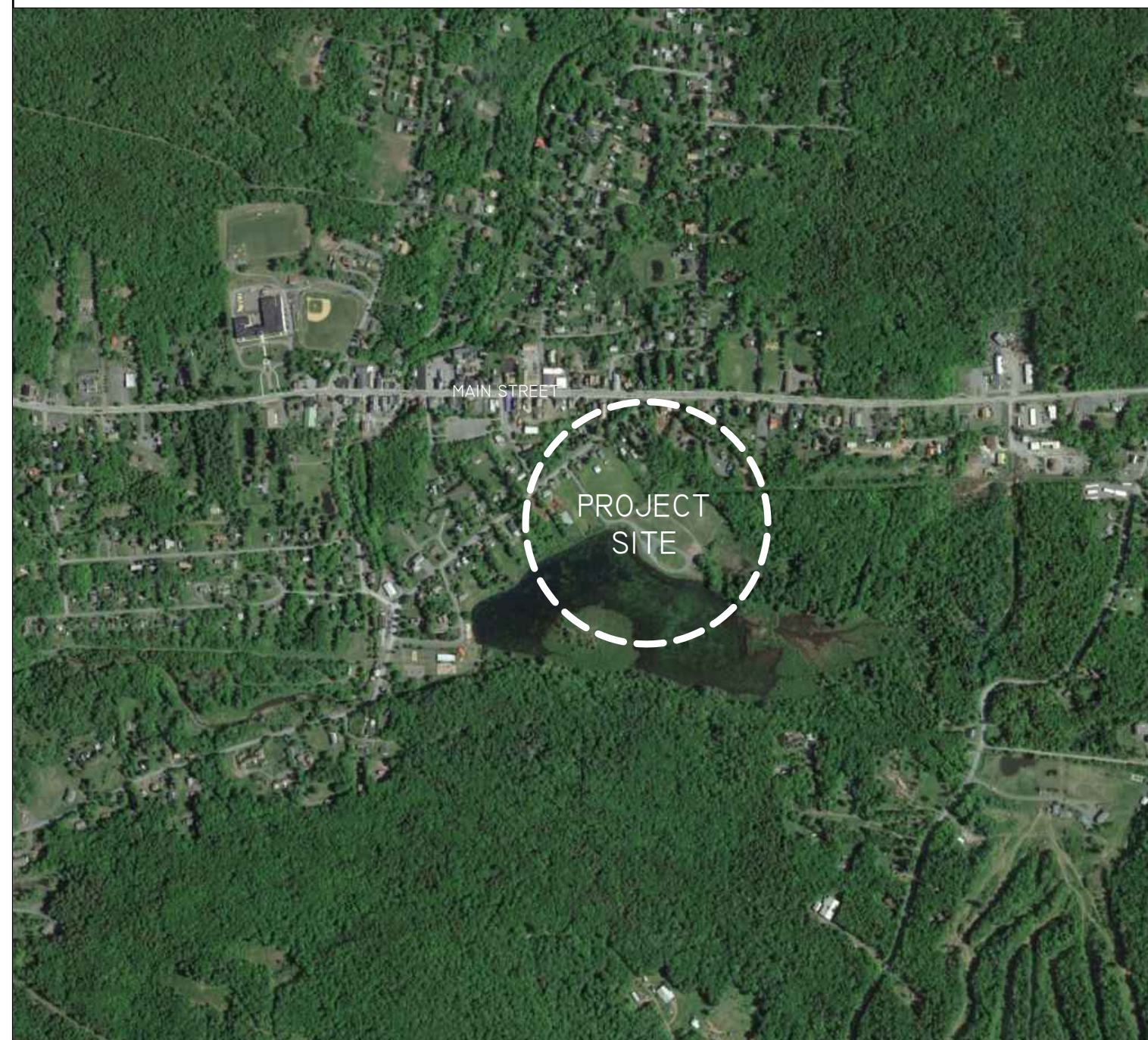
## PARCEL STATISTICS

TAX MAP ID: 182.06-1-38

ZONE: PUBLIC LAND

LOT SIZE: 38.00 ACRES

## PROJECT LOCATION



## PROJECT TEAM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

STUDIO A | LANDSCAPE ARCHITECTURE AND ENGINEERING, D.P.C.  
38 HIGH ROCK AVENUE, SUITE 3 | P.O. BOX 272  
SARATOGA SPRINGS, NY 12866  
CONTACT: KIRSTEN CATELLIER, RLA / MATTHEW HUNTINGTON, PE  
PHONE: 518.450.4030  
EMAIL: KCATELLIER@STUDIOADPC.COM

ELECTRICAL ENGINEER:

ENGINEERED SOLUTIONS  
646 PLANK ROAD, SUITE 104  
CLIFTON PARK, NY 12065  
CONTACT: DEEDRICK BERTHOLF, P.E.  
PHONE: 518.280.2410  
EMAIL: DBERTHOLF@ESOLUTIONSPLLC.COM

## GENERAL NOTES

- PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL CONTACT U.F.P.O. AND THE PROPER LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR FOR FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND REPORT ANY DISCREPANCY BETWEEN THE PLANS AND THE FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY AND COORDINATE LOCATION OF ALL UTILITIES, INCLUDING BY NOT LIMITED TO LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC., WITH LOCATIONS OF PROPOSED SITE ELEMENTS. EXCAVATION REQUIRED PROXIMATE TO UTILITY LINES SHALL BE DONE BY HAND. ANY DAMAGE AND INCURRED COSTS DUE TO FAILURE OF THE CONTRACTOR TO ADHERE TO THESE GUIDELINES SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL ESTABLISH PERMANENT BENCHMARKS PRIOR TO THE START OF CONSTRUCTION. ALL SECONDARY BENCHMARKS SHALL BE LOCATED SO THAT THEY WILL NOT BE DISTURBED DURING CONSTRUCTION.
- LIMITS OF DISTURBANCE IS NOTED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE THE LIMITS OF DISTURBANCE. ANY AREAS OUTSIDE THE LIMITS OF DISTURBANCE THAT ARE DISTURBED SHALL BE RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. IF NO LIMITS OF DISTURBANCE IS SHOWN, PROPERTY LINE SHALL BE THE LIMITS OF DISTURBANCE.
- CONTRACTOR SHALL EMPLOY CARE IN SCHEDULING CONSTRUCTION SO AS TO MAINTAIN EXISTING VEHICULAR TRAFFIC PATTERNS AND MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN TRAFFIC. CONTRACTOR SHALL EMPLOY SPECIAL CARE TO PROTECT SAFETY OF PEDESTRIANS INSIDE AND OUTSIDE OF THE LIMITS OF DISTURBANCE.
- VARIOUS PERMITS ARE REQUIRED FOR THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS FROM ALL JURISDICTIONS AFFECTED BY THIS WORK ARE IN PLACE PRIOR TO CONSTRUCTION.
- ALL ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "AS-BUILT DRAWINGS," AS SPECIFIED.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXISTING INFRASTRUCTURE FOR THE DURATION OF CONSTRUCTION.

## SHEET INDEX

L-0.00	COVER SHEET
L-0.10	MASTER NOTES SHEET
L-0.20	EXISTING CONDITIONS
L-0.30	DEMOLITION, EROSION & SEDIMENT CONTROL PLAN
L-1.10	LAYOUT & MATERIALS PLAN (1:40 SCALE)
L-1.20	LAYOUT & MATERIALS ENLARGEMENT PLAN (1:20 SCALE)
L-1.30	PLAY AREA LAYOUT, MATERIALS, AND GRADING PLAN (1:10 SCALE)
L-2.10	GRADING & DRAINAGE PLAN (1:40 SCALE)
L-2.20	GRADING & DRAINAGE ENLARGEMENT PLAN (1:20 SCALE)
L-4.10	PLANTING PLAN (1:40 SCALE)
L-4.20	PLANTING ENLARGEMENT PLAN (1:20 SCALE)
L-4.30	PLANTING ENLARGEMENT PLAN (1:10 SCALE)
L-5.10	DEMOLITION, EROSION & SEDIMENT CONTROL DETAILS
L-5.20	CONSTRUCTION DETAILS
L-5.30	CONSTRUCTION DETAILS
L-5.40	CONSTRUCTION DETAILS
A-1.10	GOthic ARCH PAVILION FLOOR PLAN, ELEVATION, AND DETAILS
E0.10	ELECTRICAL LEGEND AND SCHEDULE
E1.10	ELECTRICAL SITE PLAN
E5.10	ELECTRICAL DETAILS

100% CONSTRUCTION  
SET DOCUMENT  
06/09/2023



This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.



STUDIO A  
LANDSCAPE ARCHITECTURE +  
ENGINEERING, DPC  
MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866  
OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866  
(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION AND SPECIFIC DESCRIPTION OF THE ALTERATION.



REVISIONS	DATE	DESCRIPTION	ADDEN. 1 - ELECTRIC	ADDEN. 2 - PLANTING	REVISIONS FOR RE-BID	REVISIONS FOR RE-BID #2
	01/26/23					
	02/06/23					
	04/14/23					
	06/12/23					

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
COVER SHEET

DATE: 09/20/2022

PROJECT NO.  
21061

DRAWING NO.  
L-0.00

DWG 1 OF 20

**SITE PREPARATION & DEMOLITION NOTES:**

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND SUBSURFACE CONDITIONS PRIOR TO THE START OF WORK. COORDINATE ALL UTILITY REQUIREMENTS AND WORK WITH THE APPROPRIATE UTILITY PROVIDER. NOTIFY OWNER'S REPRESENTATIVE OF ANY AND ALL DISCREPANCIES.
- ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED. MATERIALS THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A TIMELY FASHION SO AS NOT TO DISRUPT PROGRESS AND TO ENSURE SAFE SITE CONDITIONS.
- CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY ITEMS KNOWN TO CONTAIN HAZARDOUS MATERIALS OR SUBSTANCES. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF HAZARDOUS MATERIALS OR SUBSTANCES DISCOVERED DURING THE COMPLETION OF SPECIFIED WORK.
- CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL TO FULL DEPTH WITHIN THE LIMIT OF GRADING BEFORE COMMENCING EXCAVATION AND GRADING OPERATIONS. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
- CONTRACTOR SHALL IMPLEMENT AND BE RESPONSIBLE FOR ALL NECESSARY MEASURES AND PROCEDURES TO MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN, PEDESTRIANS, LOCAL TRAFFIC AND ROADWAYS, ADJACENT PROPERTIES, AND ETC. FOR DURATION OF PROJECT AND UNTIL PROJECT COMPLETION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND/OR RESTORATION REQUIRED AS A RESULT OF DEFICIENT PROTECTION MEASURES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND PAY ALL ASSOCIATED COSTS.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED DAILY BY THE CONTRACTOR ONLY.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT TO BE REMOVED.

**EROSION & SEDIMENT CONTROL NOTES:**

- ALL EXPOSED SOIL DISTURBANCE SHALL BE IN ACCORDANCE WITH THE NYS DEC AND NYC DEP REQUIREMENTS. ANY EXPOSED SOIL SHALL BE PROPERLY STABILIZED WITH EITHER PERMANENT SEED AND MULCH IF SOIL DISTURBANCE IS COMPLETED OR TEMPORARILY SEEDED AND MULCHED IF IT WILL BE MORE THAN 14 DAYS BEFORE ADDITIONAL SOIL DISTURBANCE WILL OCCUR. EXPOSED SOIL SHALL RECEIVE TEMPORARY OR PERMANENT SEED AND MULCH WITHIN 14 DAYS OF DISTURBANCE.
- THE CONTRACTOR SHALL LIMIT THE AREA OF CLEARING AND GRUBBING, EXCAVATION, BORROW, AND EMBANKMENT OPERATIONS IN PROGRESS, COMMENSURATE WITH THEIR CAPABILITY AND PROGRESS IN KEEPING THE FINISH GRADING AND MULCHING, SEEDING AND OTHER TEMPORARY AND/OR PERMANENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS.
- THE CONTRACTOR SHALL DESIGNATE TO THE OWNER'S REPRESENTATIVE A QUALIFIED EROSION AND SEDIMENT CONTROL SUPERVISOR WITH ADEQUATE TRAINING, EXPERIENCE, AND AUTHORITY TO IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE NYS DEC REQUIREMENTS
- CONSTRUCTION IS TO PROCEED IN ACCORDANCE WITH THE CONSTRUCTION PHASING SCHEDULE SUPPLIED BY THE CONTRACTOR OR SHOWN ON THE PLANS. GRASSES SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS POSSIBLE. FOR TIME FRAMES OUTSIDE THE GROWING SEASON, OTHER METHODS OF SOIL STABILIZATION (SUCH AS THE USE OF JUTE MESH EXCELSIOR MATTING) WILL BE USED UNTIL SUCH A TIME AS GRASS CAN BE ESTABLISHED.
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY SITE DISTURBANCE. THIS INCLUDES GRADING OPERATIONS, UTILITY OR STRUCTURE INSTALL.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH NYS DEC REQUIREMENTS.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA SERVED IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED AFTER EVERY STORM EVENT.
- THE CONTRACTORS ATTENTION IS DIRECTED TO THE FACT THAT THROUGHOUT THE DURATION OF THE PROJECT IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL WATER COURSES FROM WATER BORNE SEDIMENT OR POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT CONTAMINATION OF WATERBODIES BY SILT, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATINGS, CONCRETE LEACHATE, OR ANY OTHER POLLUTANT ASSOCIATED WITH CONSTRUCTION AND CONSTRUCTION PROCEDURES.

**MAINTENANCE NOTES**

- THE CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS POSSIBLE IN AREAS OF THE SITE WHERE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED WITHIN 24 HOURS OF A STORM EVENT AND REPAIRED AND/OR MODIFIED AS REQUIRED TO BE IN GOOD WORKABLE CONDITION.
- THE CONTRACTOR SHALL CONDUCT AN INSPECTION OF THE SITE ON A DAILY BASIS TO COLLECT LITTER AND CONSTRUCTION DEBRIS, WHICH MUST BE DISPOSED OF LEGALLY.
- ANY STOCKPILES OF FILL, EXCAVATED MATERIAL OR TOPSOIL SHALL BE CONTAINED BY SILT FENCE AND/OR COVERED TO PREVENT EROSION.

**UTILITY REMOVAL NOTES**

- ALL POTABLE WELL DECOMMISSIONING ACTIONS SHALL BE PERFORMED BY A NEW YORK STATE REGISTERED WELL DRILLER AND SHALL COMPLY WITH THE REQUIREMENTS DESCRIBED IN THE NEW YORK STATE DEPARTMENT OF HEALTH INDIVIDUAL WATER SUPPLY WELLS-FACT SHEET #6 AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION WATER SUPPLY WELL DECOMMISSIONING RECOMMENDATIONS, DIVISION OF WATER.

**LAYOUT NOTES:**

- VERIFY LOCATION OF ROADS AFFECTING SCOPE OF WORK.
- VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEERING DRAWINGS. NOTIFY ENGINEER OF ANY CONFLICTS WITH ENGINEER SCOPE.
- TAKE ALL DIMENSIONS FROM FACE OF BUILDING TO CENTERLINE OF DRIVE OR TREES UNLESS OTHERWISE NOTED.
- ALL ANGLES TO BE 90 DEGREES AND ALL LINES OF PAVING AND FENCING TO BE PARALLEL UNLESS NOTED OTHERWISE. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS.
- REFERENCE TO NORTH REFERS TO PLAN NORTH, REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.

**EARTHWORK NOTES:**

- BEFORE ANY LAND CLEARING IS COMMENCED, THE CONTRACTOR SHALL ARRANGE A MEETING ON SITE WITH THE OWNER'S REPRESENTATIVE TO IDENTIFY WHICH TREES ARE TO BE PROTECTED OR REMOVED. NO CLEARING SHALL OCCUR WITHOUT A CLEAR UNDERSTANDING OF THE EXISTING CONDITIONS TO BE PRESERVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD. THE PLACEMENT OF PROTECTION DEVICES ADDITIONAL TO THOSE NOTED SHALL, HOWEVER, BE AT THE CONTRACTORS DISCRETION. VEHICLES SHALL NOT BE PARKED WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE KEPT. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE KEPT.
- ALL TEMPORARY EROSION AND SEDIMENT (E&S) CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE. E&S CONTROL DEVICES SHALL BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED TO ENSURE SATISFACTORY PERFORMANCE. ANY DAMAGE OCCURRING DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. ASSOCIATED FINES RESULTING FROM SUCH DAMAGE SHALL ALSO BE PAID BY THE CONTRACTOR.
- ALL PROPOSED GRADES SET IN THE FIELD TO BE COMPLETED BY A NEW YORK STATE LICENSED SURVEYOR.
- ALL AREAS REQUIRING FILL SHALL BE BROUGHT TO REQUIRED GRADE IN A MAXIMUM OF 12" COMPACTED LIFTS.
- ALL SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH SLOPE STABILIZATION MATS. LOCATIONS AND METHODS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY BEFORE CONTINUING WORK.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINE SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING GRADE, PROVIDING VERTICAL CURVES OR ROUNDINGS AT THE TOP AND BOTTOM OF ALL SLOPES.
- DURING GRADING OPERATIONS, DRAINAGE OF THE SITE AND ADJACENT AREAS SHALL BE MAINTAINED CONTINUOUSLY TO PREVENT EROSION OR OTHER DAMAGE. WHEN IT IS NECESSARY TO INTERRUPT DRAINAGE OR OTHER EXISTING UTILITIES, CONTRACTOR IS TO PROVIDE TEMPORARY FACILITIES UNTIL PERMANENT WORK IS COMPLETED AT NO COST TO THE OWNER.
- GRADE AREAS ADJACENT TO BUILDING LINES TO DRAIN AWAY FROM STRUCTURE TO PREVENT PONDING. FINISHED SURFACES SHALL BE FREE FROM ANY ABRUPT OR IRREGULAR CHANGES.
- EXCAVATION REQUIRED WITHIN DRIP LINE OF TREES DESIGNATED TO REMAIN SHALL BE DONE BY HAND SO THAT NO DAMAGE OCCURS TO EXISTING ROOT SYSTEM. PLANT MATERIALS DAMAGED BY CONTRACTOR SHALL BE REPLACED IN KIND AT NO ADDITIONAL EXPENSE TO THE OWNER.
- EXCAVATION SHALL BE TO ELEVATIONS INDICATED WITH A TOLERANCE OF ± 1".
- SUBBASE COURSE MATERIAL SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 304, TYPE 2 AND SHALL CONFORM TO MIN 95% MODIFIED PROCTOR DENSITY. BACKFILL MATERIAL SHALL BE COMPACTED ON SITE SOIL MATERIAL.
- EMBANKMENT FILL SHALL CONFORM WITH ALL REQUIREMENTS OF NYSDOT SPEC. SECTION 203. MAXIMUM ALLOWABLE LOOSE LIFTS FOR EMBANKMENTS SHALL BE 12 INCH AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS ESTABLISHED THROUGH THE STANDARD PROCTOR COMPACTION TEST PER ASTM D698.
- MATERIAL STOCKPILES, IF REQUIRED, SHALL BE LOCATED WHOLLY WITHIN THE WORK AREA. ADDITIONAL SILT FENCES SHALL BE PROVIDED AT THE BASE OF ALL STOCKPILES AS DIRECTED IN THE FIELD BY THE ENGINEER.
- ALL TRENCHES AND OTHER EXCAVATION SIDE SLOPES INDICATED ON THE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO INDICATE A STABLE EXCAVATION SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY AND STABILITY OF ALL EXCAVATION SLOPES, SHEETING, SHORING, TRENCH BOXES, AND ANY OTHER MEANS REQUIRED FOR A SAFE WORK ENVIRONMENT AND FOR PROTECTION OF ADJACENT ROADWAYS AND OTHER STRUCTURES. ALL EXCAVATION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING REGULATORY AGENCIES:

- SUBPART 23-4, "EXCAVATION OPERATIONS", OF NEW YORK DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 23.
- SUBPART P, "EXCAVATIONS" OF THE UNITED STATES DEPARTMENT OF LABOR OSHA REGULATIONS FOR CONSTRUCTION.
- ALL OTHER MUNICIPAL, COUNTY, STATE OR FEDERAL AGENCIES, REGULATIONS OR LAWS PERTAINING TO EXCAVATION SAFETY AS MAY APPLY AT THE WORK SITE.
- THE MORE STRINGENT PROVISION IN EACH OF THE ABOVE CODES SHALL APPLY. THESE PROVISIONS SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND SHALL BE INCREASED IF NECESSARY TO PROVIDE SAFE WORKING CONDITIONS.

- CRUSHED STONE, WHERE CALLED FOR ON THE DRAWINGS, SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 703-02, SIZE DESIGNATION 2.
- ALL SILT FENCES SHALL BE INSTALLED PRIOR TO DISTURBANCE OF EXISTING SITE FINISHES AND SHALL REMAIN IN PLACE UNTIL A STABLE GROWTH OF TURF IS ESTABLISHED.
- ALL DISTURBED AREAS NOT COVERED WITH SITE IMPROVEMENTS OR LANDSCAPING SHALL BE COVERED WITH 3" OF TOPSOIL AND SEEDED TO ESTABLISH A DENSE GROWTH OF TURF.

**PLANTING NOTES:**

- ALL PLANT BEDS TO BE MULCHED WITH 3" DEEP SHREDDED CEDAR-NATURAL COLOR, UNLESS OTHERWISE NOTED ON THE PLANS.
- PRIOR TO PLANTING, CONTRACTOR SHALL LOCATE, VERIFY, AND REPORT ANY CONFLICTS WITH EXISTING UTILITY LINES TO THE LANDSCAPE ARCHITECT.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMAL GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL BE OF SPECIMEN QUALITY UNLESS APPROVED OTHERWISE BY LANDSCAPE ARCHITECT.
- WRITTEN APPROVAL IS REQUIRED FROM LANDSCAPE ARCHITECT OF ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL. CHANGED PLANTS SHALL BE EQUIVALENT FORM, HEIGHT, FLOWER, COLOR, LEAF, SIZE, BRANCHING, CULTURE AND FRUIT.
- PRIOR TO COMMENCEMENT OF PLANTING, STAKE LOCATION OF ALL PLANTINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- SCHEDULE DELIVERY OF PLANTS ONLY IN REASONABLE TIME AS TO WHEN THEY CAN BE INSTALLED. PLANTS TO BE INSPECTED BY LANDSCAPE ARCHITECT AT DELIVERY.
- MAINTENANCE TO BEGIN IMMEDIATELY FOLLOWING INSTALLATION OF PLANT MATERIALS UNTIL FINAL ACCEPTANCE.
- TREES SHALL NOT BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BE PLANTED 3" HIGHER THAN PREVIOUS GRADE. SHRUBS AND GROUND COVER SHALL BE PLANTED AS THE SAME RELATIONSHIP TO GRADE AS PREVIOUS GRADE.
- PLANT MATERIAL QUANTITIES TO BE PROVIDED BY CONTRACTOR AS SHOWN ON DRAWINGS.
- UNLESS NOTED ON PLANT LIST, PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN.

**STORMWATER MANAGEMENT SYSTEM CONSTRUCTION NOTES**

- BIORETENTION OUTLET STRUCTURE OUTLET STORM PIPE SHALL BE HIGH-DENSITY POLYETHYLENE DUAL WALLED CORRUGATED PIPE WITH SMOOTH INTERIOR CONFORMING TO ASTM F2648. PIPE SHALL BE JOINED USING BELL AND SPIGOT JOINT CONFORMING TO ASTM F2648. JOINTS SHALL CONFORM TO ASTM D3212. GASKETS SHALL CONFORM TO ASTM F477. FITTINGS SHALL CONFORM TO ASTM F2306.

**SPECIAL DEMOLITION AND REMOVALS NOTE:**

GRAVEL MATERIAL REMOVED FROM EXISTING WALKS AND DRIVES IN THE PARK MAY BE RE-USED AS BASE MATERIAL FOR PURPOSED NEW ACCESS ROAD FROM DROP-OFF CIRCLE/PARKING AREA TO AND INCLUDING UPPER PARKING AREA.



STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC  
MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866  
OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866  
(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.



REVISIONS	DATE	DESCRIPTION
	01/26/23	ADDEN. 1 - ELECTRIC
	02/06/23	ADDEN. 2 - PLANTING
	04/14/23	REVISIONS FOR RE-BID
	06/12/23	REVISIONS FOR RE-BID #2

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
MASTER NOTES SHEET

DATE: 09/20/2022  
PROJECT NO. 21061  
DRAWING NO. L-0.10  
DWG 2 OF 20



NEW YORK State Department of State  
This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.



studioA  
Landscape Architecture + Engineering, DPC

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866

(518) 450-0300

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

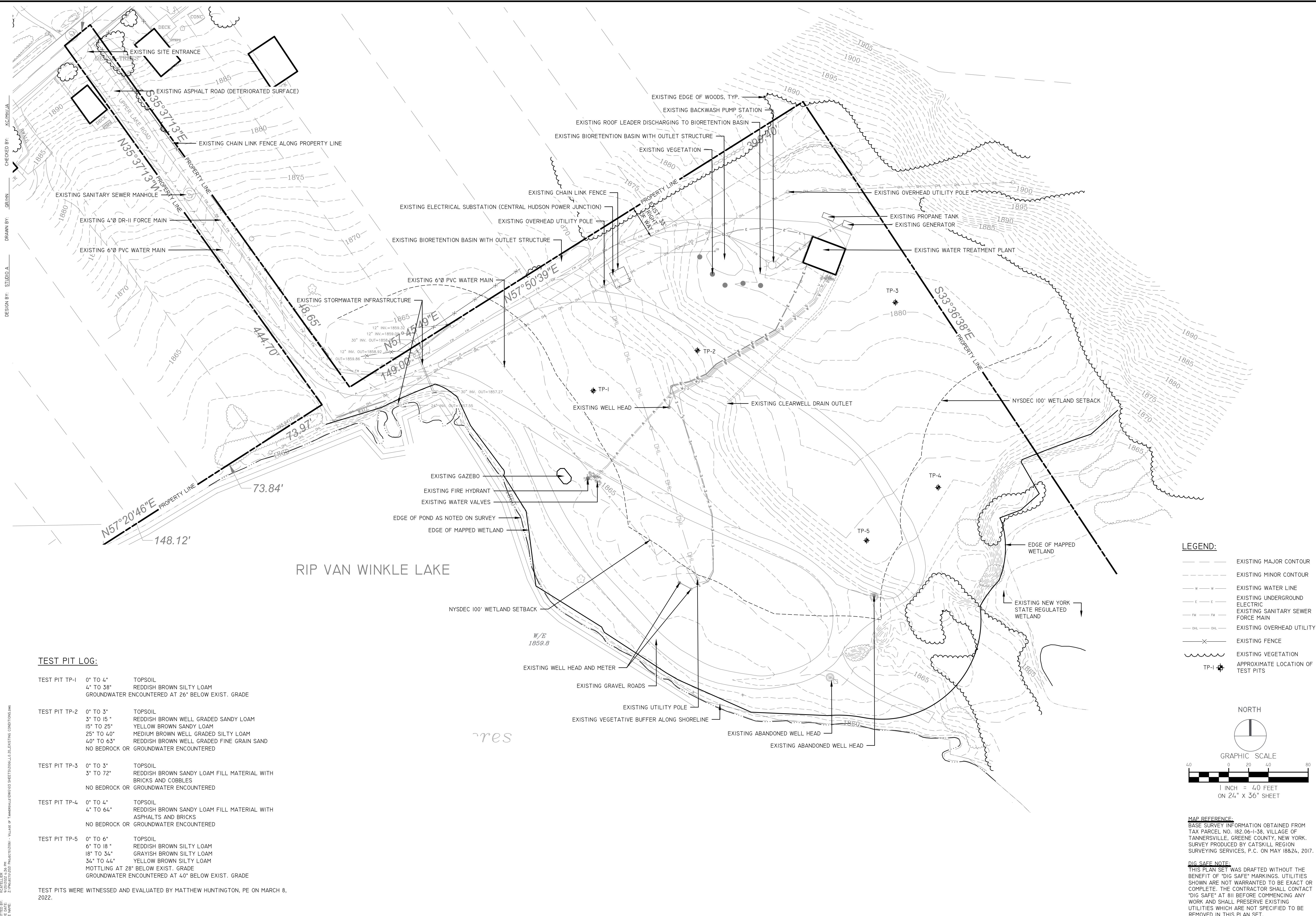


REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID #2
	01/26/23	ADDEN. 1 - ELECTRIC	
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23	REVISIONS FOR RE-BID	#2

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
EXISTING CONDITIONS

DATE: 09/20/2022  
PROJECT NO. 21061  
DRAWING NO. L-0.20  
DWG 3 OF 20

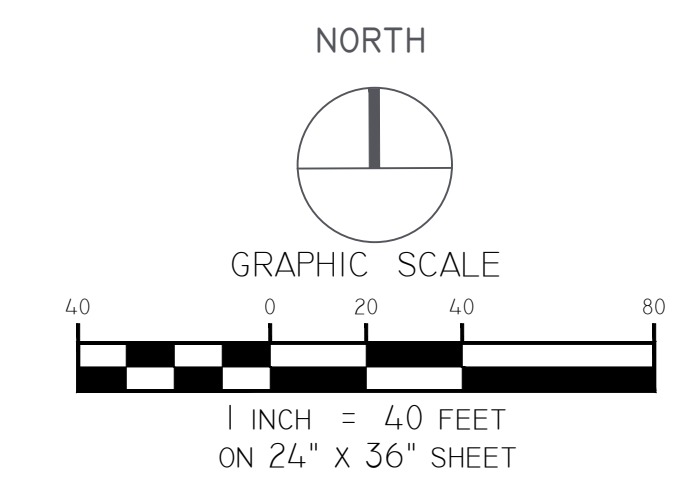


**TEST PIT LOG:**

TEST PIT	DEPTH	SOIL DESCRIPTION
TEST PIT TP-1	0' TO 4" 4" TO 38"	TOPSOIL REDDISH BROWN SILTY LOAM GROUNDWATER ENCOUNTERED AT 26" BELOW EXIST. GRADE
TEST PIT TP-2	0' TO 3" 3' TO 15" 15' TO 25" 25' TO 40" 40' TO 63"	TOPSOIL REDDISH BROWN WELL GRADED SANDY LOAM YELLOW BROWN SANDY LOAM MEDIUM BROWN WELL GRADED SILTY LOAM REDDISH BROWN WELL GRADED FINE GRAIN SAND NO BEDROCK OR GROUNDWATER ENCOUNTERED
TEST PIT TP-3	0' TO 3" 3' TO 72"	TOPSOIL REDDISH BROWN SANDY LOAM FILL MATERIAL WITH BRICKS AND COBBLES NO BEDROCK OR GROUNDWATER ENCOUNTERED
TEST PIT TP-4	0' TO 4" 4" TO 64"	TOPSOIL REDDISH BROWN SANDY LOAM FILL MATERIAL WITH ASPHALTS AND BRICKS NO BEDROCK OR GROUNDWATER ENCOUNTERED
TEST PIT TP-5	0' TO 6" 6' TO 18" 18' TO 34" 34' TO 44" 44' TO 28"	TOPSOIL REDDISH BROWN SILTY LOAM GRAYISH BROWN SILTY LOAM YELLOW BROWN SILTY LOAM MOTTLING AT 28" BELOW EXIST. GRADE GROUNDWATER ENCOUNTERED AT 40" BELOW EXIST. GRADE

TEST PITS WERE WITNESSED AND EVALUATED BY MATTHEW HUNTINGTON, PE ON MARCH 8, 2022.

- LEGEND:**
- EXISTING MAJOR CONTOUR
  - - - EXISTING MINOR CONTOUR
  - W — EXISTING WATER LINE
  - E — EXISTING UNDERGROUND ELECTRIC
  - FM — EXISTING SANITARY SEWER FORCE MAIN
  - OHL — EXISTING OVERHEAD UTILITY
  - X — EXISTING FENCE
  - VEG — EXISTING VEGETATION
  - TP-# — APPROXIMATE LOCATION OF TEST PITS



**MAP REFERENCE:**  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18824, 2017.

**DIG SAFE NOTE:**  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

CHECKED BY: KC/PH/LJA  
DRAWN BY: OR/IN  
DESIGN BY: STUDIO A

PROJECT NO. 21061  
DRAWING NO. L-0.20  
DWG 3 OF 20



NEW YORK  
Department of State  
This project was funded provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

Community Planning and Environmental Associates

studioA

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY OR IN ANY MANNER, INCLUDING THE STAMP OF A LICENSED PROFESSIONAL, IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

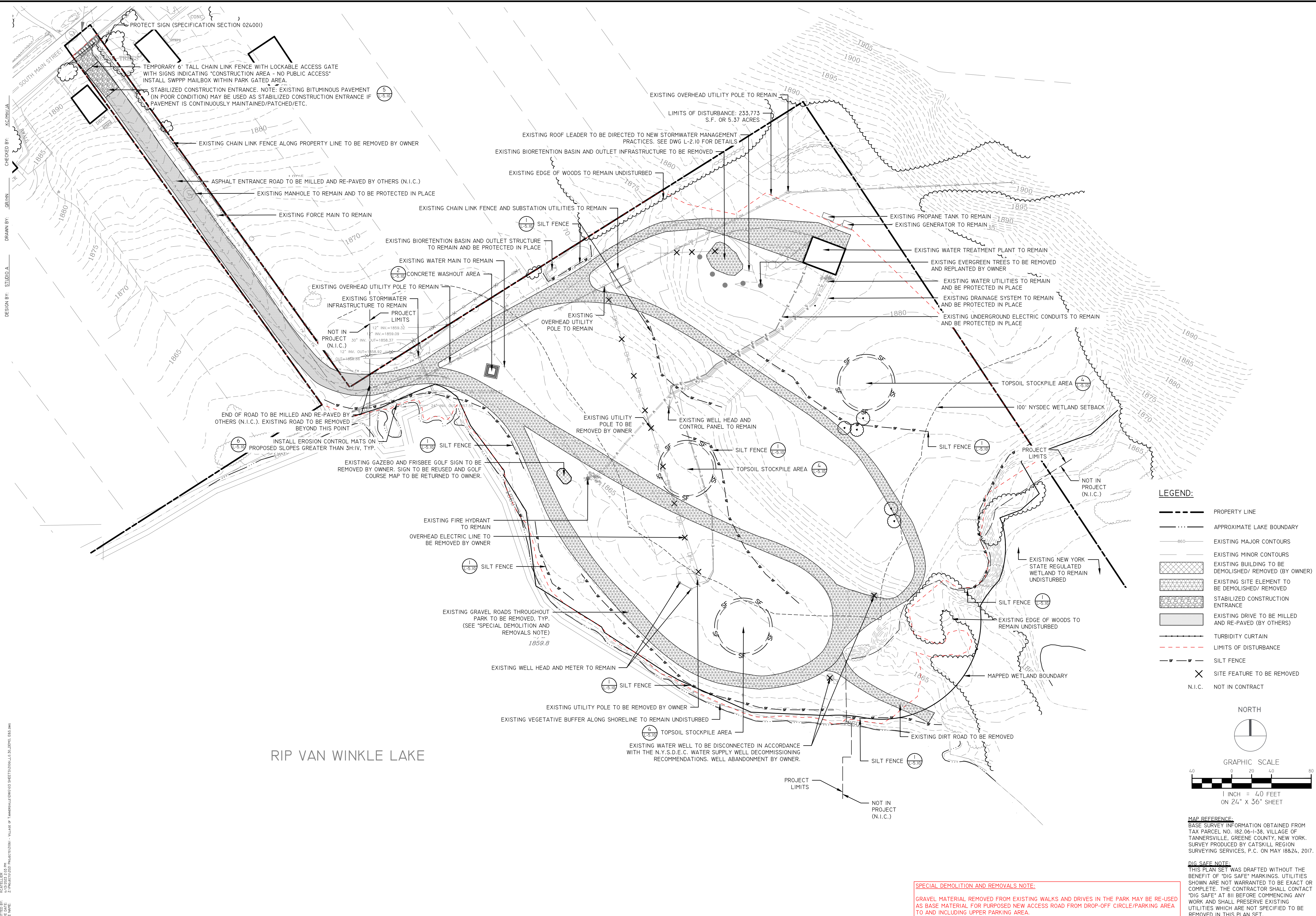


REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID
	01/26/23	ADDEN. 1 - ELECTRIC	
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23	REVISIONS FOR RE-BID	#2

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
DEMOLITION, EROSION AND  
SEDIMENT CONTROL PLAN

DATE: 09/20/2022  
PROJECT NO.  
21061  
DRAWING NO.  
L-0.30  
DWG 4 OF 20

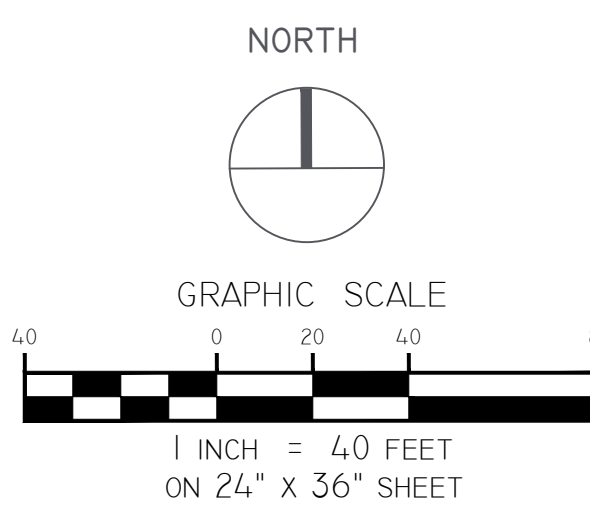


CHECKED BY: KC/PH/LJA  
DRAWN BY: OR/IN  
DESIGN BY: STUDIO A

DATE: 4/10/2023 2:03 PM  
FILE NAME: Z:\PROJECTS\2023\09\20\1061 - Village of Tannersville\DWG\1061-03.DWG, 616.dwg

RIP VAN WINKLE LAKE

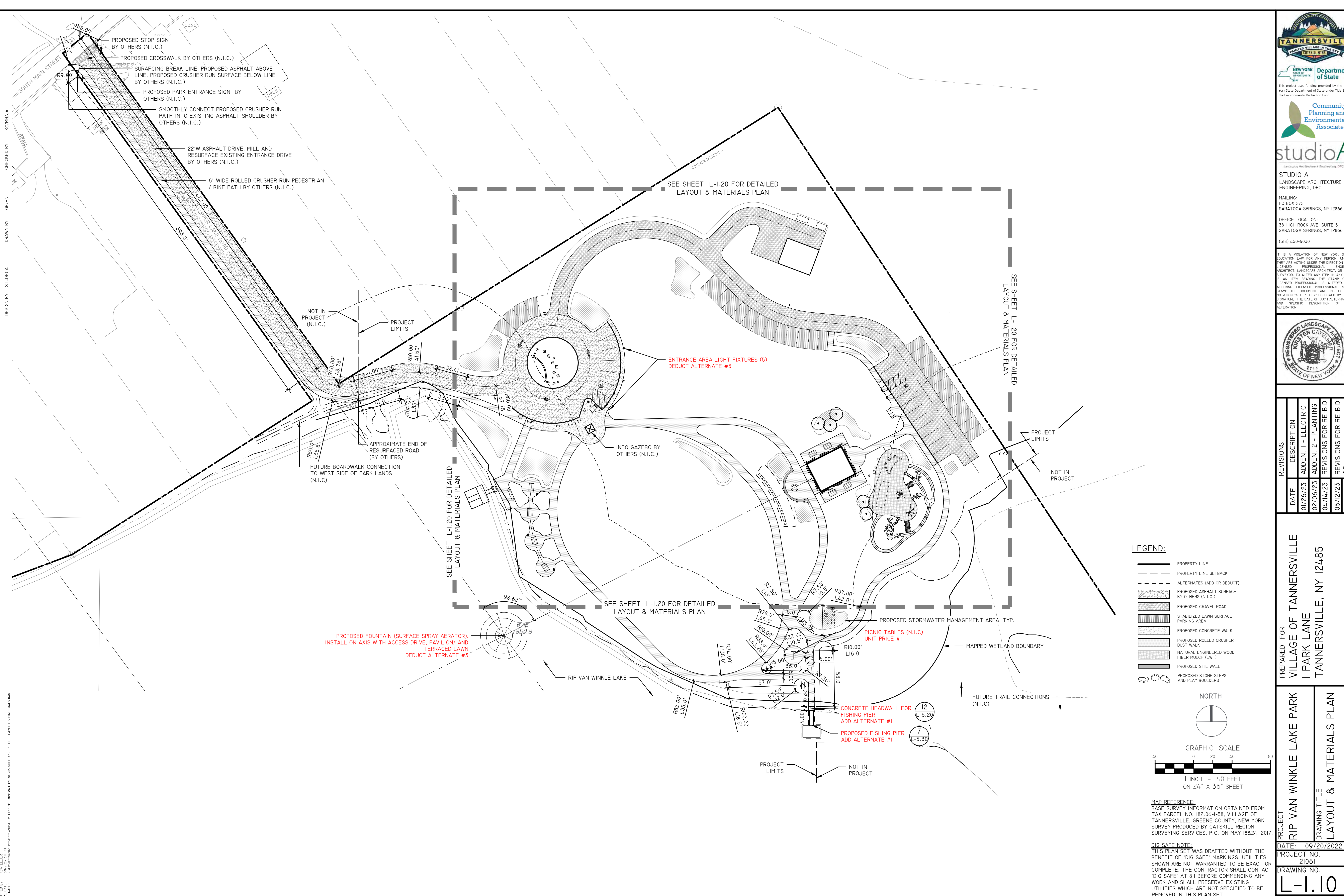
- LEGEND:**
- PROPERTY LINE
  - APPROXIMATE LAKE BOUNDARY
  - EXISTING MAJOR CONTOURS
  - EXISTING MINOR CONTOURS
  - EXISTING BUILDING TO BE DEMOLISHED/ REMOVED (BY OWNER)
  - EXISTING SITE ELEMENT TO BE DEMOLISHED/ REMOVED
  - STABILIZED CONSTRUCTION ENTRANCE
  - EXISTING DRIVE TO BE MILLED AND RE-PAVED (BY OTHERS)
  - TURBIDITY CURTAIN
  - LIMITS OF DISTURBANCE
  - SILT FENCE
  - SITE FEATURE TO BE REMOVED
  - N.I.C. NOT IN CONTRACT



**MAP REFERENCE:**  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18824, 2017.

**DIG SAFE NOTE:**  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

**SPECIAL DEMOLITION AND REMOVALS NOTE:**  
GRAVEL MATERIAL REMOVED FROM EXISTING WALKS AND DRIVES IN THE PARK MAY BE RE-USED AS BASE MATERIAL FOR PURPOSES NEW ACCESS ROAD FROM DROP-OFF CIRCLE/PARKING AREA TO AND INCLUDING UPPER PARKING AREA.



CHECKED BY: KC/PH/JA  
 DRAWN BY: OR/IN  
 DESIGN BY: STUDIO A

PROJECT NO: 21061  
 DATE: 09/20/2022  
 DRAWING NO: L-1.10



**studioA**  
 LANDSCAPE ARCHITECTURE + ENGINEERING, DPC  
 MAILING:  
 PO BOX 272  
 SARATOGA SPRINGS, NY 12866  
 OFFICE LOCATION:  
 38 HIGH ROCK AVE, SUITE 3  
 SARATOGA SPRINGS, NY 12866  
 (518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY OF AN ITEM BEARING THE SEAL OR SIGNATURE OF A LICENSED PROFESSIONAL. IF ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.



REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID
	01/26/23	ADDEN. 1 - ELECTRIC	
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23	REVISIONS FOR RE-BID	#2

PREPARED FOR  
**VILLAGE OF TANNERSVILLE**  
 1 PARK LANE  
 TANNERSVILLE, NY 12485

PROJECT  
**RIP VAN WINKLE LAKE PARK**  
 DRAWING TITLE  
**LAYOUT & MATERIALS PLAN**  
 DATE: 09/20/2022  
 PROJECT NO.  
 21061  
 DRAWING NO.  
**L-1.10**  
 DWG 5 OF 20

**LEGEND:**

- PROPERTY LINE
- PROPERTY LINE SETBACK
- ALTERNATES (ADD OR DEDUCT)
- PROPOSED ASPHALT SURFACE BY OTHERS (N.I.C.)
- PROPOSED GRAVEL ROAD
- STABILIZED LAWN SURFACE PARKING AREA
- PROPOSED CONCRETE WALK
- PROPOSED ROLLED CRUSHER DUST WALK
- NATURAL ENGINEERED WOOD FIBER MULCH (EWF)
- PROPOSED SITE WALL
- PROPOSED STONE STEPS AND PLAY BOULDERS

NORTH

GRAPHIC SCALE

1 INCH = 40 FEET  
ON 24" x 36" SHEET

**MAP REFERENCE:**  
 BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18824, 2017.

**DIG SAFE NOTE:**  
 THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.



NEW YORK State Department of State  
This project was funded provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

Community Planning and Environmental Associates

studioA  
Landscape Architecture + Engineering, DPC

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OR SIGNATURE OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

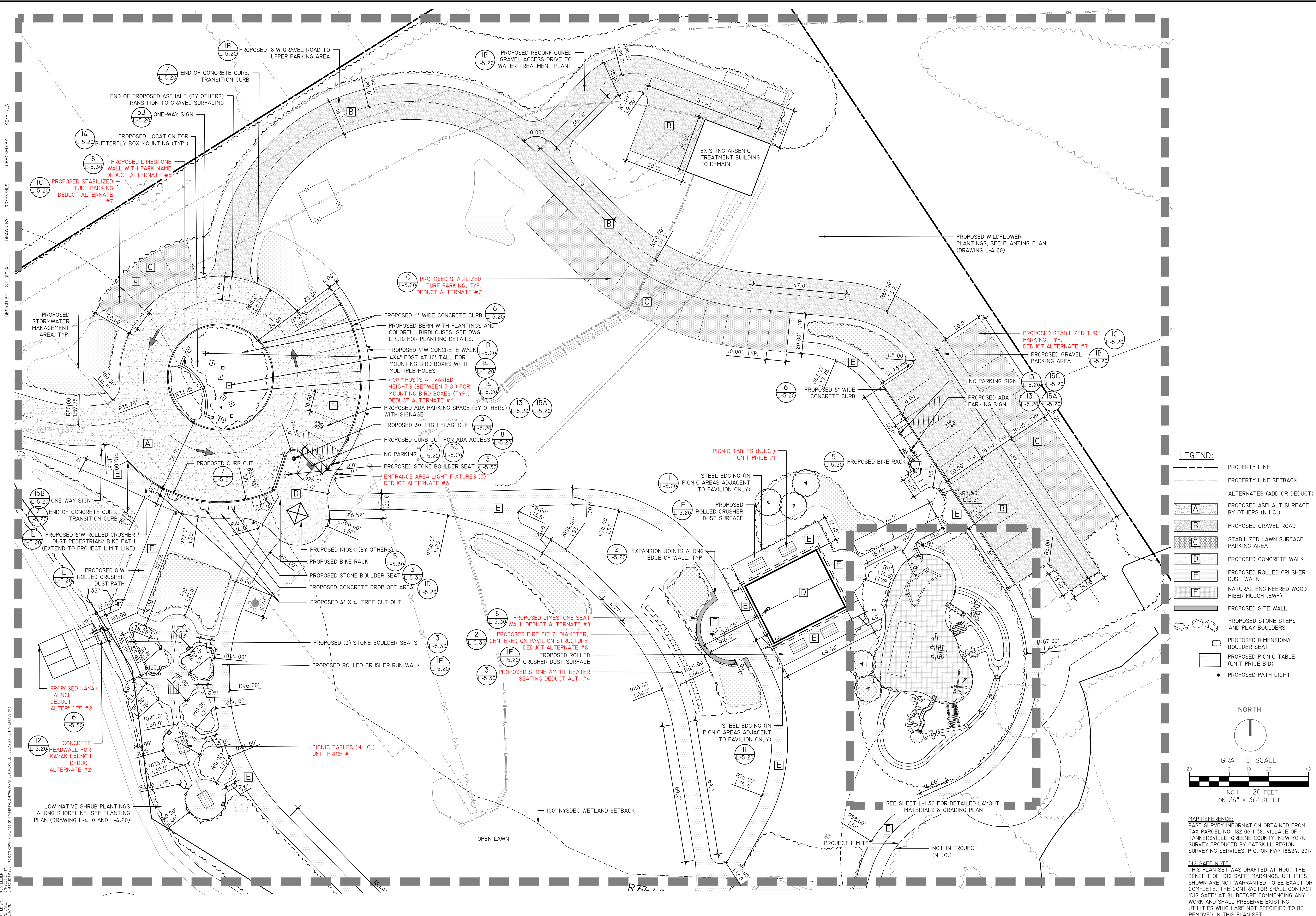


REVISIONS	DATE	DESCRIPTION	ADDEN. 1 - ELECTRIC	ADDEN. 2 - PLANTING	REVISIONS FOR RE-BID	REVISIONS FOR RE-BID #2
	01/26/23					
	02/06/23					
	04/14/23					
	06/12/23					

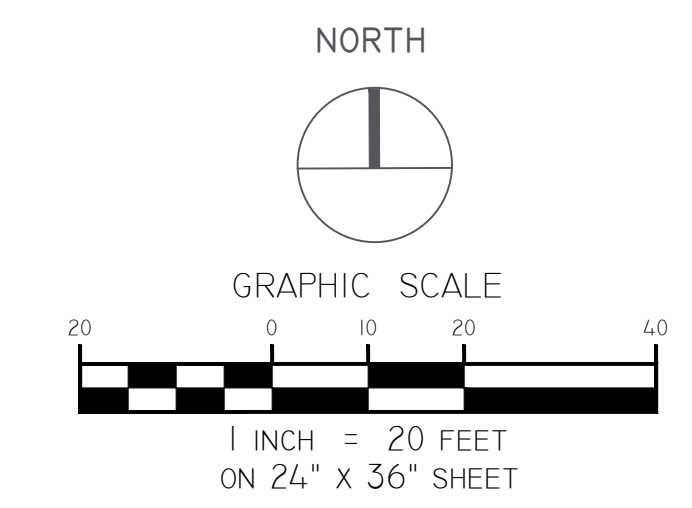
PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
LAYOUT & MATERIALS  
ENLARGEMENT PLAN

DATE: 09/20/2022  
PROJECT NO.: 21061  
DRAWING NO.: L-1.20  
DWG 6 OF 20



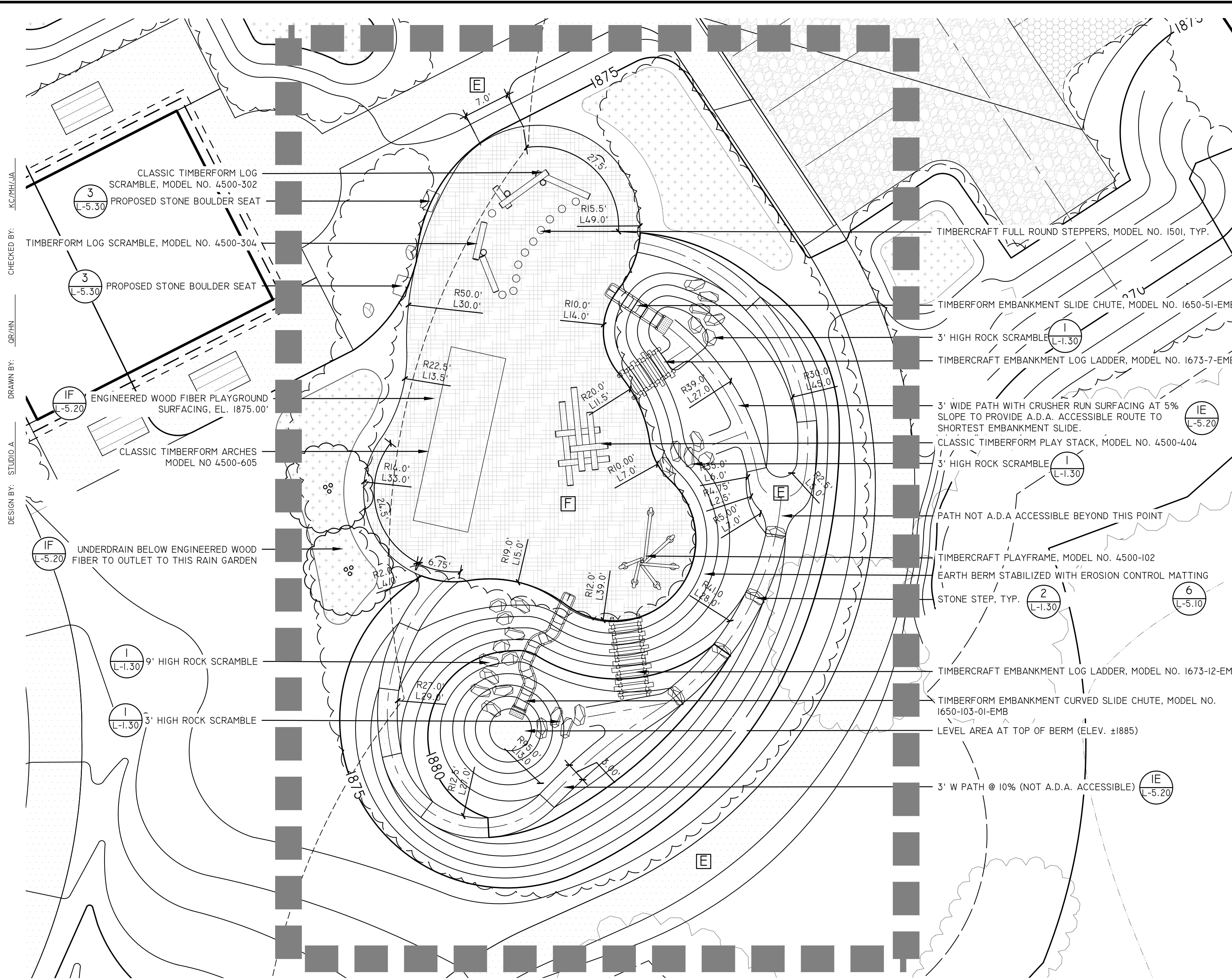
- LEGEND:**
- PROPERTY LINE
  - PROPERTY LINE SETBACK
  - ALTERNATES (ADD OR DEDUCT)
  - PROPOSED ASPHALT SURFACE BY OTHERS (N.I.C.)
  - PROPOSED GRAVEL ROAD
  - PROPOSED LAWN SURFACE PARKING AREA
  - PROPOSED CONCRETE WALK
  - PROPOSED ROLLED CRUSHER DUST WALK
  - NATURAL ENGINEERED WOOD FIBER MULCH (EWF)
  - PROPOSED SITE WALL
  - PROPOSED STONE STEPS AND PLAY BOULDERS
  - PROPOSED DIMENSIONAL BOULDER SEAT
  - PROPOSED PICNIC TABLE (UNIT PRICE BID)
  - PROPOSED PATH LIGHT



**MAP REFERENCE:**  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18, 2024, 2017.

**DIG SAFE NOTE:**  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

CHECKED BY: KC/PH/UA  
 DRAWN BY: STUDIO A  
 DESIGN BY: STUDIO A  
 PROJECT NO.: 21061  
 DATE: 09/20/2022  
 FILE NAME: L-1.20



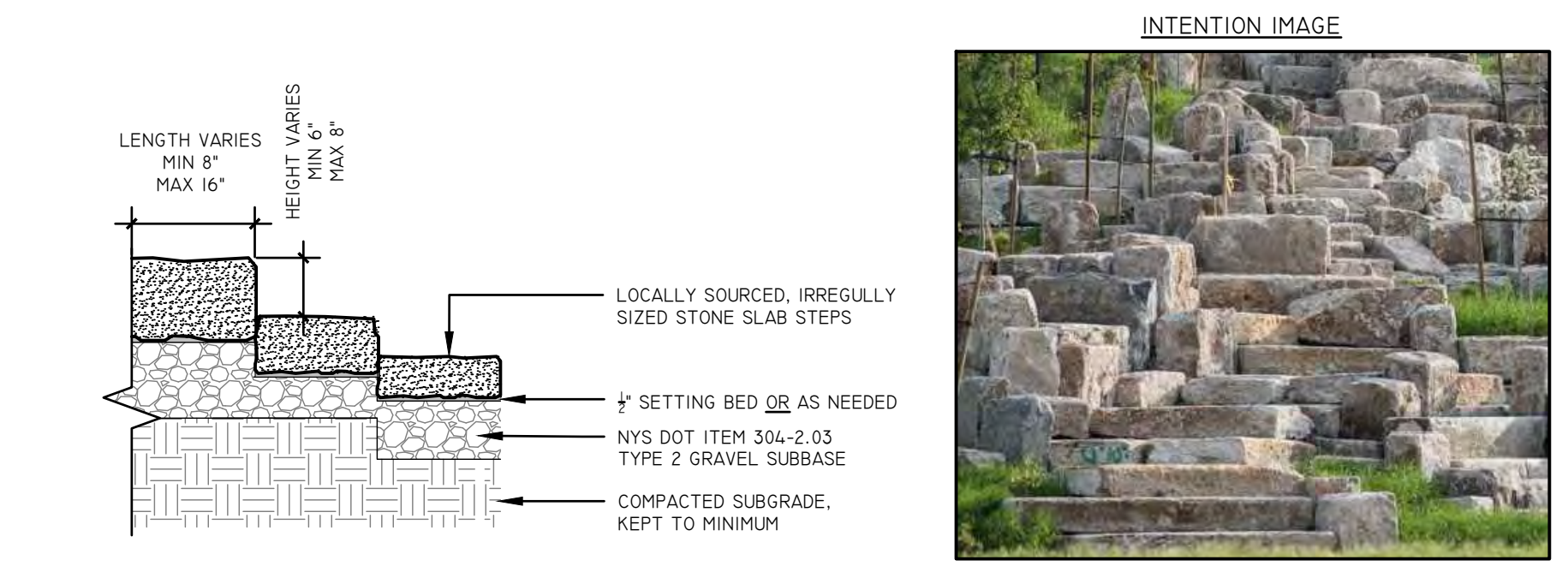
1 NATURAL PLAY AREA LAYOUT

SCALE: 1" = 10'-0"

QTY	ITEM NAME	MODEL NO.	MANUFACTURER	COMMENTS
1	CLASSIC TIMBERFORM LOG SCRAMBLE	4500-304	TIMBERFORM	EMBEDMENT MOUNT
1	CLASSIC TIMBERFORM LOG SCRAMBLE	4500-302	TIMBERFORM	EMBEDMENT MOUNT
1	CLASSIC TIMBERFORM PLAY STACK	4500-404	TIMBERFORM	EMBEDMENT MOUNT
1	EMBANKMENT SLIDE CHUTE	1650-51-EMB	TIMBERFORM	PLASTIC, TAN
1	EMBANKMENT CURVED SLIDE CHUTE	1650-103-01-EMB	TIMBERFORM	PLASTIC, TAN
1	CLASSIC TIMBERFORM ARCHES	4500-605	TIMBERFORM	NATURAL COLOR ROPE, SURFACE MOUNT
11	TIMBERCRAFT FULL-ROUND STEPPERS	1501-3	TIMBERCRAFT	EMBEDMENT MOUNT
1	TIMBERCRAFT PLAYFRAME	4500-102	TIMBERCRAFT	SURFACE MOUNT
1	EMBANKMENT LOG LADDER	1673-7-EMB	TIMBERCRAFT	4" VERTICAL CHANGE, 58% SLOPE, 7 RUNGS
1	EMBANKMENT LOG LADDER	1673-12-EMB	TIMBERCRAFT	7" VERTICAL CHANGE, 58% SLOPE, 12 RUNGS

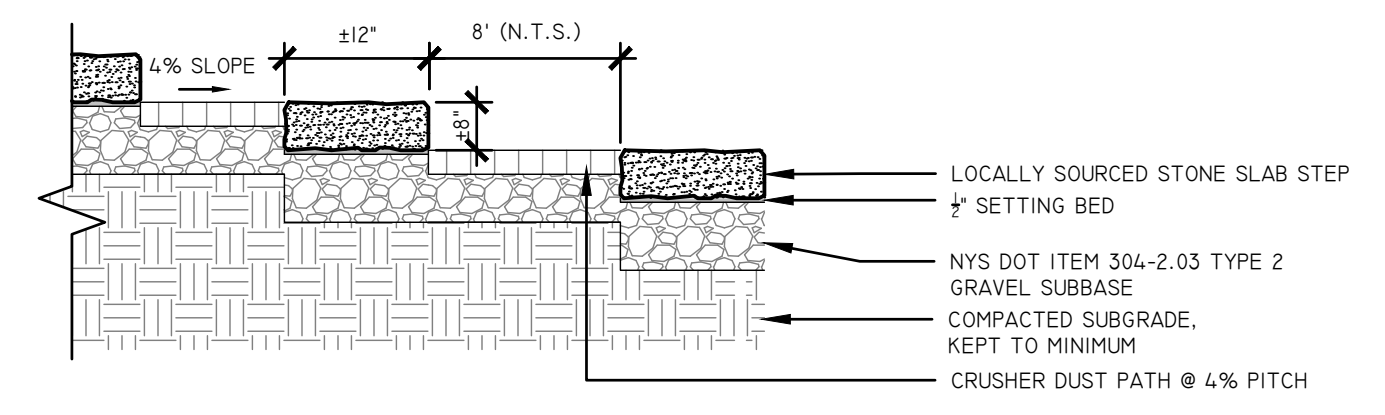
2 PLAYGROUND EQUIPMENT SCHEDULE

SCALE: N.T.S.



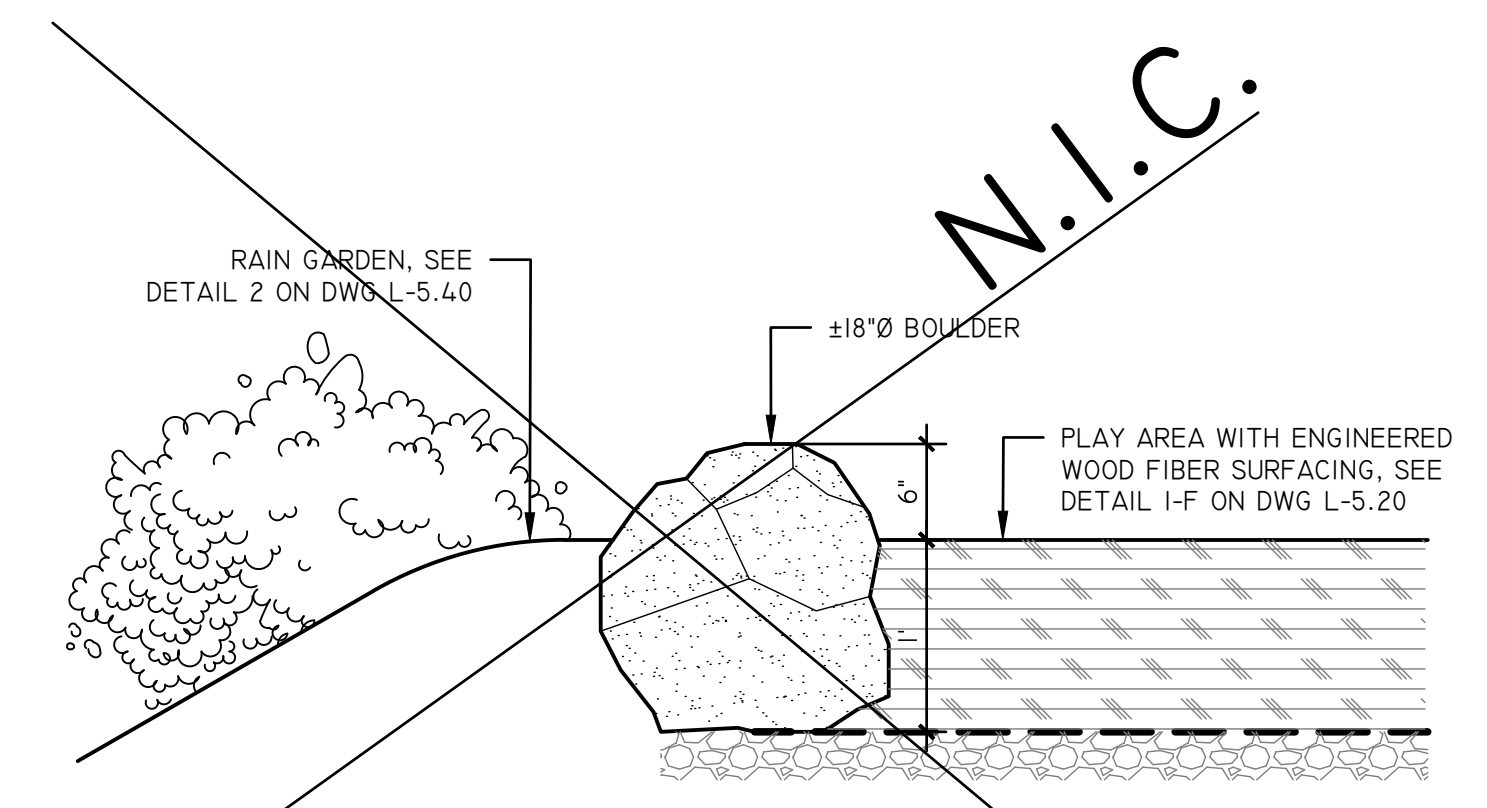
1 ROCK SCRAMBLE

SCALE: N.T.S.



2 STONE STEPS

SCALE: N.T.S.



3 BOULDER EDGING

SCALE: 1" = 1'-0"

**LEGEND:**

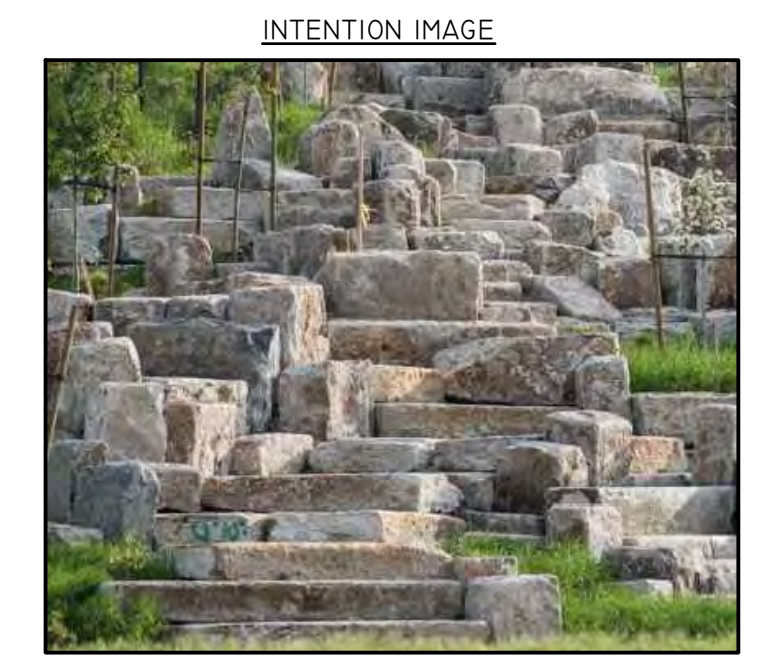
- PROPERTY LINE
- PROPERTY LINE SETBACK
- ALTERNATES (ADD OR DEDUCT)
- PROPOSED ASPHALT SURFACE BY OTHERS (N.I.C.)
- PROPOSED GRAVEL ROAD
- STABILIZED LAWN SURFACE PARKING AREA
- PROPOSED CONCRETE WALK
- PROPOSED ROLLED CRUSHER DUST WALK
- NATURAL ENGINEERED WOOD FIBER MULCH (EWF)
- PROPOSED SITE WALL
- PROPOSED STONE STEPS AND PLAY BOULDERS
- PROPOSED DIMENSIONAL BOULDER SEAT
- PROPOSED PICNIC TABLE (UNIT PRICE BID)

NORTH

GRAPHIC SCALE  
1 INCH = 10 FEET  
ON 24" x 36" SHEET

**MAP REFERENCE:**  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18824, 2017.

**DIG SAFE NOTE:**  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.



**TANNERSVILLE**  
PAINTED VILLAGE IN THE CITY  
ESTABLISHED 1882

NEW YORK  
Department of State  
This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

Community  
Planning and  
Environmental  
Associates

**studioA**  
Landscape Architecture + Engineering, DPC

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC  
MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866  
OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866  
(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

**REGISTERED LANDSCAPE ARCHITECT**  
KATHLEEN CATELL  
STATE OF NEW YORK  
2714

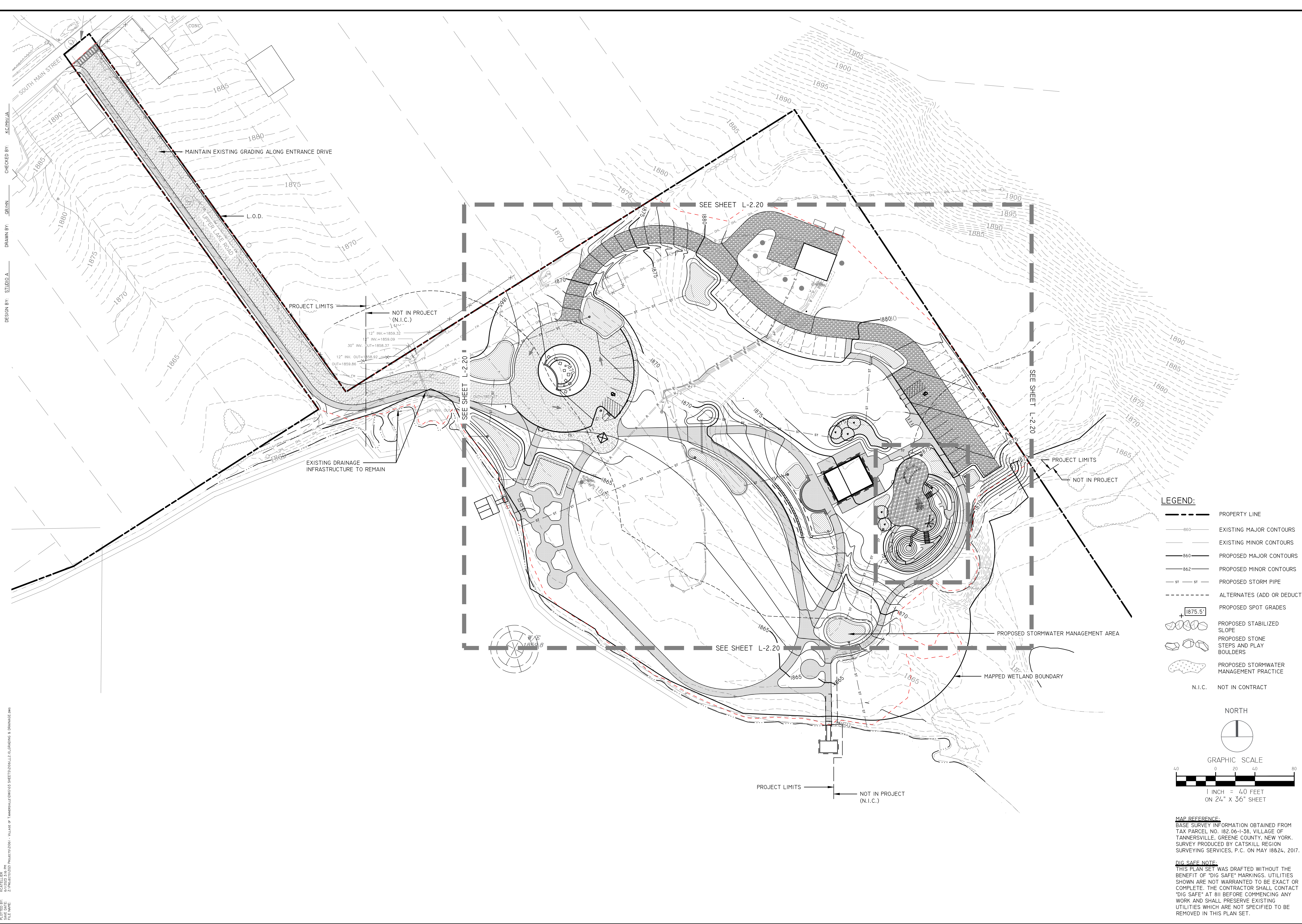
REVISIONS	DATE	DESCRIPTION	ADDEN. 1 - ELECTRIC	ADDEN. 2 - PLANTING	REVISIONS FOR RE-BID	REVISIONS FOR RE-BID #2
	01/26/23					
	02/06/23					
	04/14/23					
	06/12/23					

PREPARED FOR  
**VILLAGE OF TANNERSVILLE**  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
**RIP VAN WINKLE LAKE PARK**

DRAWING TITLE  
**PLAY AREA LAYOUT, MATERIALS & GRADING PLAN**

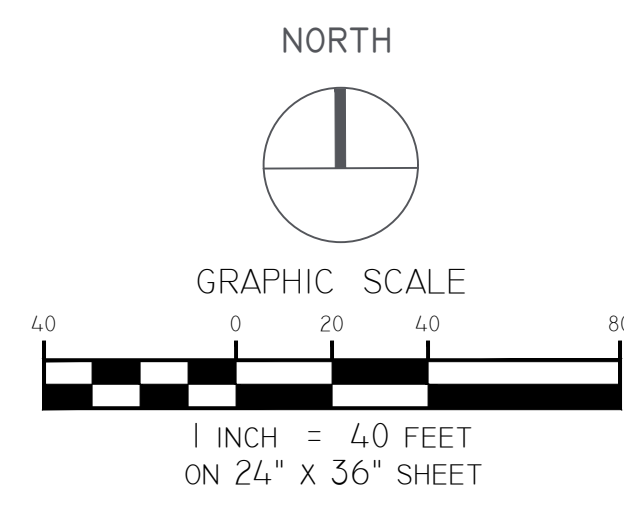
DATE: 09/20/2022  
PROJECT NO.: 21061  
DRAWING NO.: **L-1.30**  
DWG 7 OF 20



CHECKED BY: KC/PH/LJA  
 DRAWN BY: OR/IN  
 DESIGN BY: STUDIO A

PROJECT NO: 21061  
 DATE: 09/20/2022  
 DRAWING NO: L-2.10

- LEGEND:**
- PROPERTY LINE
  - EXISTING MAJOR CONTOURS
  - EXISTING MINOR CONTOURS
  - PROPOSED MAJOR CONTOURS
  - PROPOSED MINOR CONTOURS
  - PROPOSED STORM PIPE
  - ALTERNATES (ADD OR DEDUCT)
  - PROPOSED SPOT GRADES
  - PROPOSED STABILIZED SLOPE
  - PROPOSED STONE STEPS AND PLAY BOULDERS
  - PROPOSED STORMWATER MANAGEMENT PRACTICE
  - N.I.C. NOT IN CONTRACT



**MAP REFERENCE:**  
 BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18824, 2017.

**DIG SAFE NOTE:**  
 THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.



**studioA**  
 LANDSCAPE ARCHITECTURE + ENGINEERING, DPC  
 MAILING:  
 PO BOX 272  
 SARATOGA SPRINGS, NY 12866  
 OFFICE LOCATION:  
 38 HIGH ROCK AVE, SUITE 3  
 SARATOGA SPRINGS, NY 12866  
 (518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY OF ANY ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.



REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID #
	01/26/23	ADDEN. 1 - ELECTRIC	
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23	REVISIONS FOR RE-BID	#2

PREPARED FOR  
**VILLAGE OF TANNERSVILLE**  
 1 PARK LANE  
 TANNERSVILLE, NY 12485

PROJECT  
**RIP VAN WINKLE LAKE PARK**

DRAWING TITLE  
**GRADING & DRAINAGE PLAN**

DATE: 09/20/2022  
 PROJECT NO. 21061  
 DRAWING NO. **L-2.10**  
 DWG 8 OF 20



NEW YORK State Department of State  
This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

Community Planning and Environmental Associates

studioA  
Landscape Architecture + Engineering, DPC

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC  
MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866  
OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866  
(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OR STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

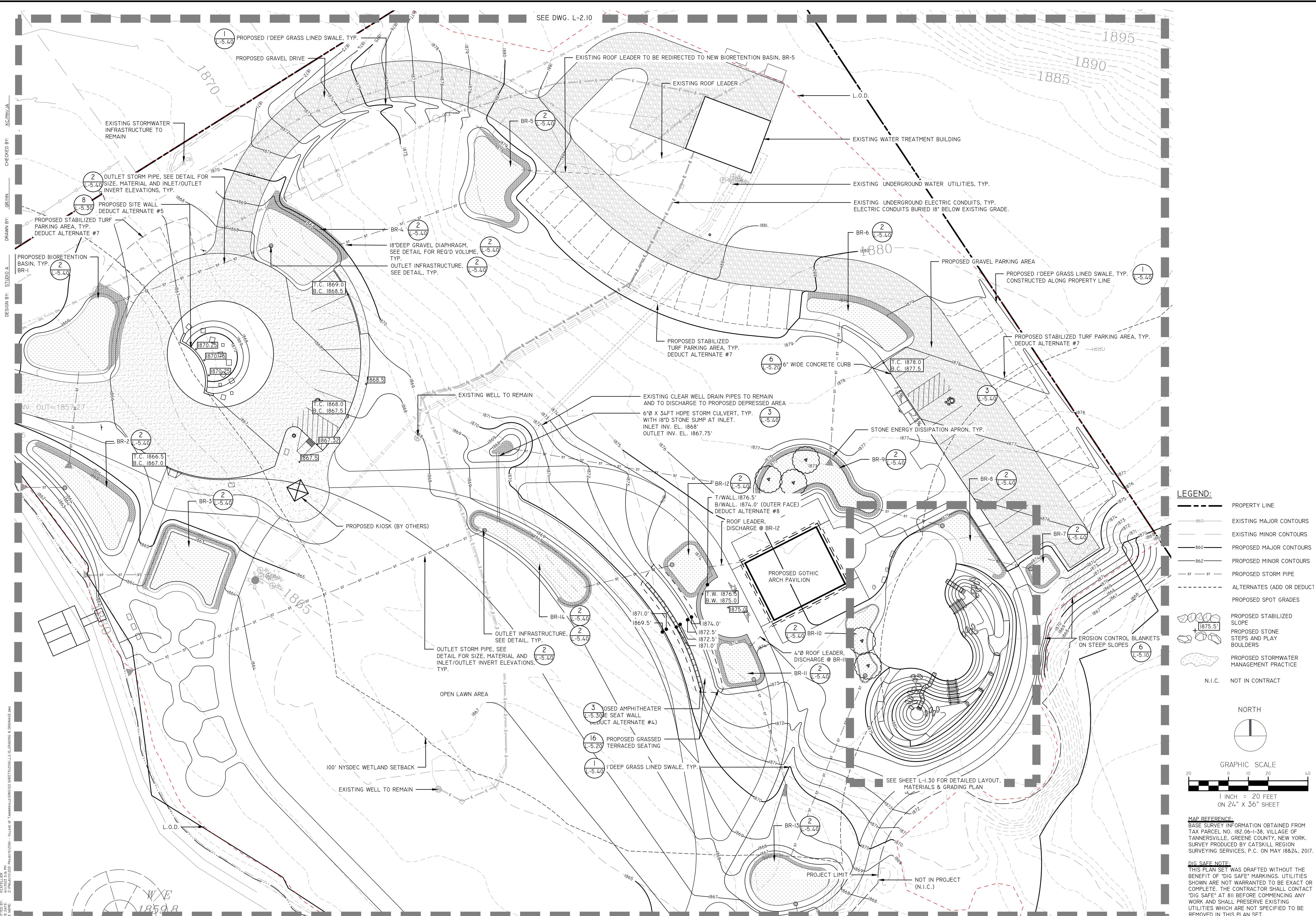


REVISIONS	DATE	DESCRIPTION
	01/26/23	ADDEN. 1 - ELECTRIC
	02/06/23	ADDEN. 2 - PLANTING
	04/14/23	REVISIONS FOR RE-BID
	06/12/23	REVISIONS FOR RE-BID #2

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
GRADING & DRAINAGE  
ENLARGEMENT PLAN

DATE: 09/20/2022  
PROJECT NO.  
21061  
DRAWING NO.  
L-2.20  
DWG 9 OF 20



**LEGEND:**

- — — — — PROPERTY LINE
- — — — — EXISTING MAJOR CONTOURS
- — — — — EXISTING MINOR CONTOURS
- — — — — PROPOSED MAJOR CONTOURS
- — — — — PROPOSED MINOR CONTOURS
- - - - - PROPOSED STORM PIPE
- - - - - ALTERNATES (ADD OR DEDUCT)
- — — — — PROPOSED SPOT GRADES
- PROPOSED STABILIZED SLOPE
- PROPOSED STONE STEPS AND PLAY BOULDERS
- PROPOSED STORMWATER MANAGEMENT PRACTICE
- N.I.C. NOT IN CONTRACT

NORTH

GRAPHIC SCALE

1 INCH = 20 FEET  
ON 24" x 36" SHEET

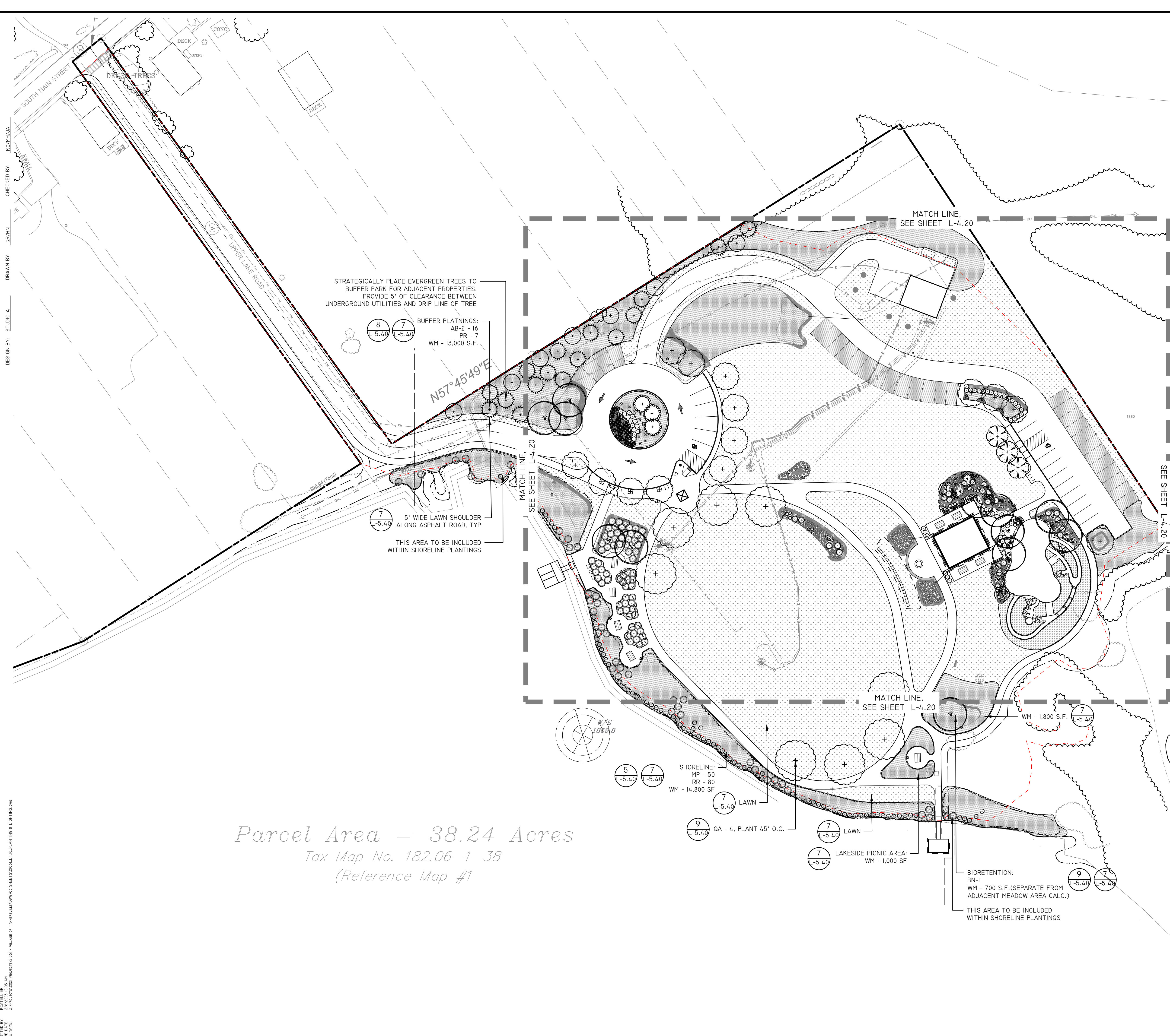
**MAP REFERENCE:**  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 1882A, 2017.

**DIG SAFE NOTE:**  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

CHECKED BY: KC/PH/UA  
DRAWN BY: OR/IN  
DESIGN BY: STUDIO A  
DATE: 09/20/2022  
FILE NAME: Z:\PROJECTS\21061\_RIP VAN WINKLE LAKE PARK\DWG\DWG L-2.20.DWG

SEE DWG. L-2.10

WYE  
18598



Parcel Area = 38.24 Acres  
 Tax Map No. 182.06-1-38  
 (Reference Map #1)

PLANTING SCHEDULE						
KEY	QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
<b>TREES</b>						
AB-1	3	(Symbol)	ABIES BALSAMEA	BALSAM FIR	8'-10' HT.	SINGLE STEMMED, 1'-6" CLEAR TRUNK
AB-2	13	(Symbol)	ABIES BALSAMEA	BALSAM FIR	HALF 6-8' HT. HALF 4-6' HT.	SINGLE STEMMED, 1'-6" CLEAR TRUNK TO BE FIELD LOCATED BY LA
AR	14	(Symbol)	ACER RUBRUM	RED MAPLE	2 - 2.5' CAL.	
BN	12	(Symbol)	BETULA NIGRA	RIVER BIRCH	8-10' HT.	MULTI-STEMMED, 3-5 MAIN STEMS
CC	3	(Symbol)	CERCIS CANDENSIS	CANADIAN REDBUD	6-8' HT	SINGLE STEMMED
PR	7	(Symbol)	PICEA RUBENS	RED SPRUCE	6-8' HT.	SINGLE STEMMED, 1'-6" CLEAR TRUNK
HV	5	(Symbol)	HAMAMELIS VIRGINIANA	WITCH HAZEL	5-6' HT.	
QA	8	(Symbol)	QUERCUS ALBA	WHITE OAK	2.5 - 3' CAL.	SINGLE STEMMED, 5' CLEAR TRUNK
<b>SHRUBS</b>						
CA	48	(Symbol)	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERWEET	1 GAL. CONT.	4' O.C.
MP	137	(Symbol)	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	1 GAL.	5' O.C., 90% FEMALE, 10% MALE
CS	25	(Symbol)	CORNUS SERICEA 'CARDINAL'	CARDINAL RED TWIG DOGWOOD	3 GAL.	6' O.C.
RR	80	(Symbol)	ROSA RUGOSA	RUGOSA ROSE	1 GAL.	5' O.C.
VA	13	(Symbol)	VIBURNUM ACERIFOLIUM	MAPLEAF VIBURNUM	2 GAL.	36-48" HT.
<b>PERENNIALS / GRASSES / SEDGES</b>						
CV	25	(Symbol)	COREOPSIS VERTICILLATA	SUNSTAR™ ROSE COREOPSIS	1 GAL.	24" O.C.
DP	80	(Symbol)	DENNSTAEDTIA PUNCTILLOBA	HAY-SCENTED FERN	4" POT OR QUART	18" O.C.
DC	396	(Symbol)	DESCHAMPSIA CAESPITOSA 'GOLDTAL'	GOLD DEW TUFTED HAIR GRASS	1 GAL.	24" O.C.
EP	78	(Symbol)	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.	18" O.C.
GM	35	(Symbol)	GERANIUM X ROZANNE	ROZANNE CRANESBILL	1 GAL.	24" O.C.
HS	129	(Symbol)	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	4" POT	18" O.C.
LS	58	(Symbol)	LIATRIS SPICATA	BLAZING STAR	1 GAL.	18" O.C.
MD	47	(Symbol)	MONARDA DIDYMA 'JACOB CLINE'	JACOB CLINE' BEE BALM	1 GAL.	36" O.C.
RH	73	(Symbol)	RUDEBECKIA HIRTA 'INDIAN SUMMER'	BLACK EYED SUSAN	1 GAL.	18" O.C.
WM	37,750 S.F.	(Symbol)	NATIVE WILDFLOWER MIX	SHORTGRASS ECHINACEA SEED MIX	SEED	SOURCE FROM PRAIRIE MOON NURSERY OR APPROVED EQUAL
NM	3,000 S.F.	(Symbol)	NO MOW LAWN SEED MIX	NO MOW LAWN	SEED (APPLY EROSION CONTROL MAT BELOW SEED)	SOURCE FROM PRAIRIE NURSERY OR APPROVED EQUAL

**TANNERSVILLE**  
 VILLAGE OF TANNERSVILLE

NEW YORK STATE  
 Department of State

Community Planning and Environmental Associates

studioA  
 Landscape Architecture + Engineering, DPC

STUDIO A  
 LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
 PO BOX 272  
 SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
 38 HIGH ROCK AVE., SUITE 3  
 SARATOGA SPRINGS, NY 12866

(518) 450-4030

REGISTERED LANDSCAPE ARCHITECT  
 STATE OF NEW YORK

REVISIONS	
DATE	DESCRIPTION
01/26/23	ADDEN. 1 - ELECTRIC
02/06/23	ADDEN. 2 - PLANTING
04/14/23	REVISIONS FOR RE-BID
06/12/23	REVISIONS FOR RE-BID #2

PREPARED FOR  
**VILLAGE OF TANNERSVILLE**  
**1 PARK LANE**  
**TANNERSVILLE, NY 12485**

PROJECT  
**RIP VAN WINKLE LAKE PARK**

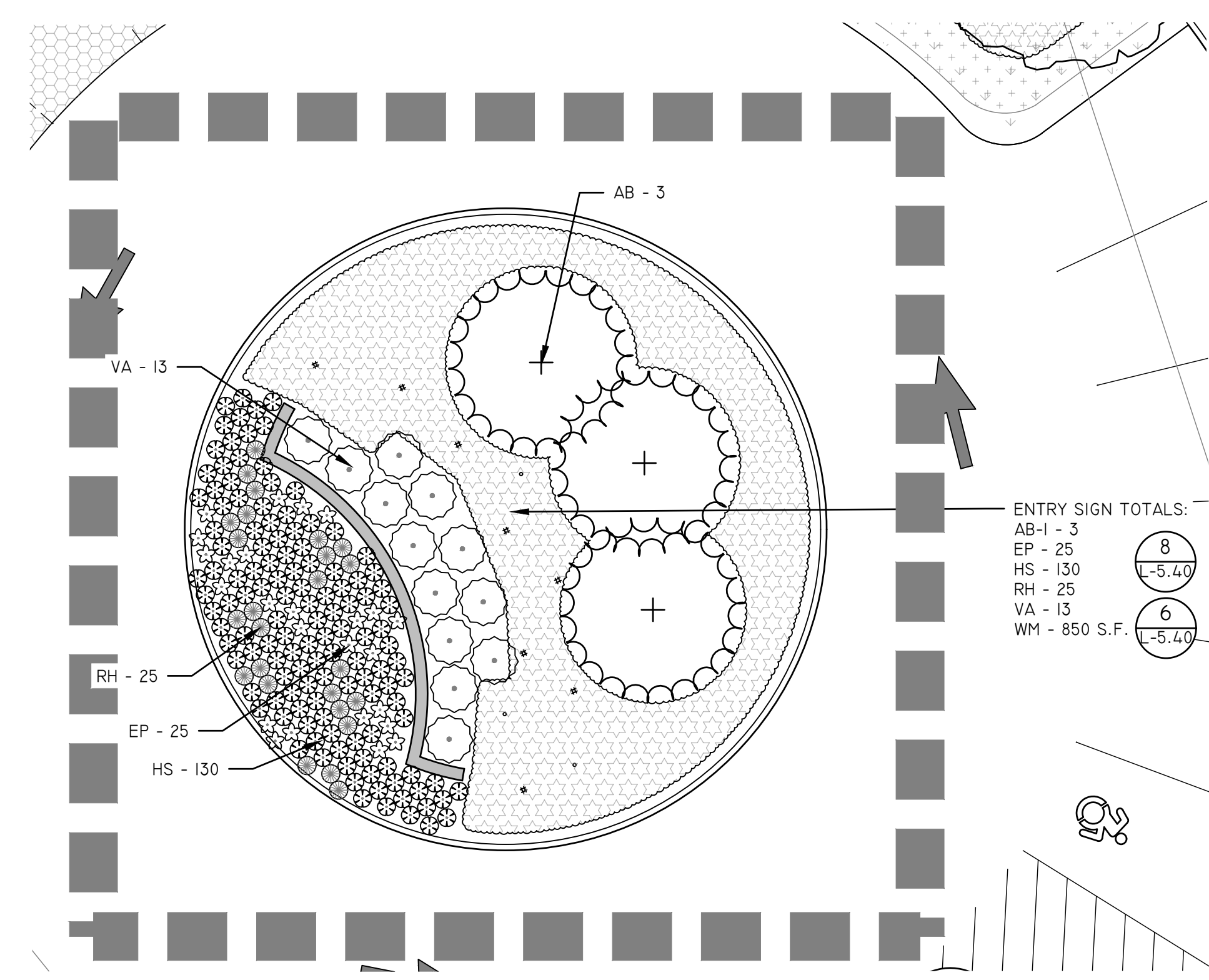
DRAWING TITLE  
**PLANTING PLAN**

DATE: 09/20/2022  
 PROJECT NO. 21061  
 DRAWING NO. **L-4.10**  
 DWG 10 OF 20

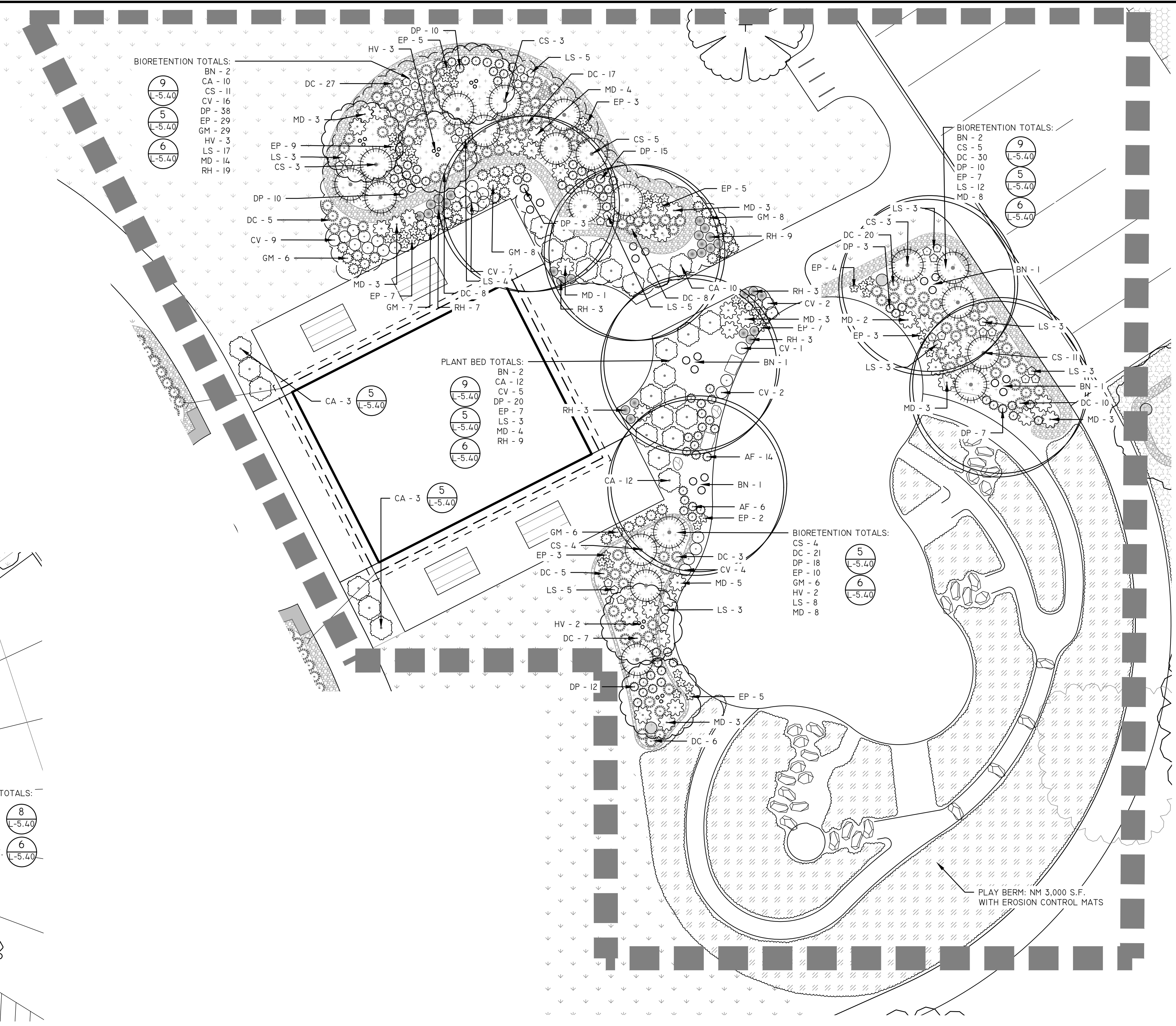
PLOTTER: 24x36 2003 40  
 SAVE DATE: 2/15/2023 10:03:00 AM  
 FILE NAME: Z:\PROJECTS\2023\182.06-1-38\182.06-1-38\_L-4.10\_PLANTING.dwg



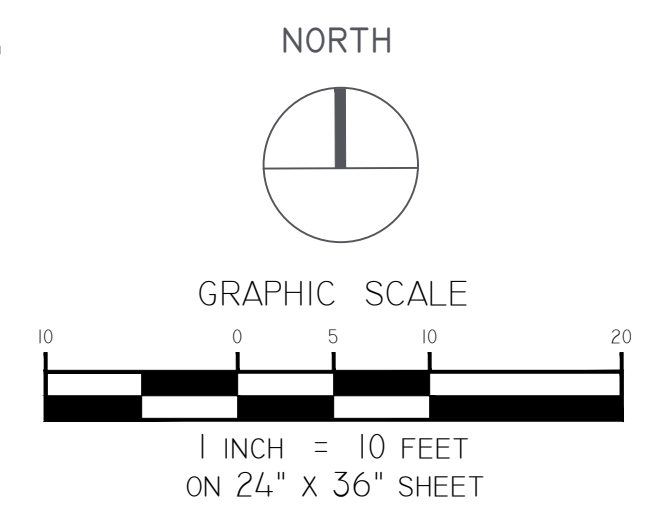
CHECKED BY: KC/PH/UA  
 DRAWN BY: STUDIO A  
 DESIGN BY: STUDIO A



1 ENTRY SIGN PLANT BED ENLARGEMENT



2 PAVILION AND PLAY AREA PLANT BEDS ENLARGEMENT



**MAP REFERENCE:**  
 BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18824, 2017.

**DIG SAFE NOTE:**  
 THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

NEW YORK State Department of State  
 This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

Community Planning and Environmental Associates

studioA  
 Landscape Architecture + Engineering, DPC

STUDIO A  
 LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
 PO BOX 272  
 SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
 38 HIGH ROCK AVE, SUITE 3  
 SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS		DESCRIPTION	DATE
	ADDEN. 1 - ELECTRIC	01/26/23	
	ADDEN. 2 - PLANTING	02/06/23	
	REVISIONS FOR RE-BID	04/14/23	
	REVISIONS FOR RE-BID #2	06/12/23	

PREPARED FOR  
 VILLAGE OF TANNERSVILLE  
 1 PARK LANE  
 TANNERSVILLE, NY 12485

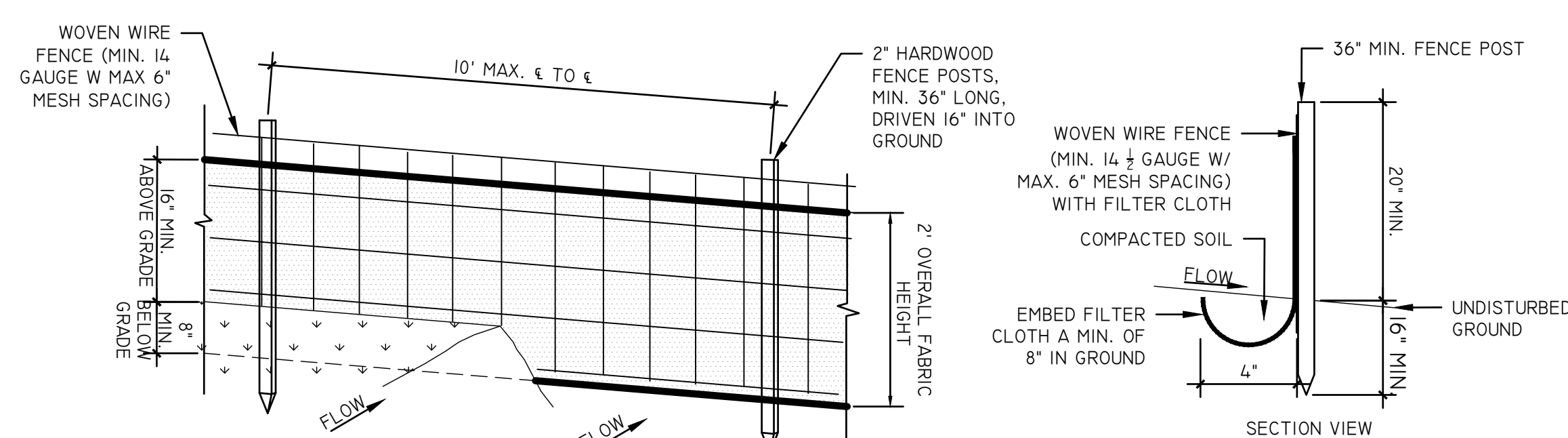
PROJECT  
 RIP VAN WINKLE LAKE PARK

DRAWING TITLE  
 PLANTING ENLARGEMENT

PLAN

DATE: 09/20/2022  
 PROJECT NO.  
 21061  
 DRAWING NO.  
**L-4.30**  
 DWG 12 OF 20

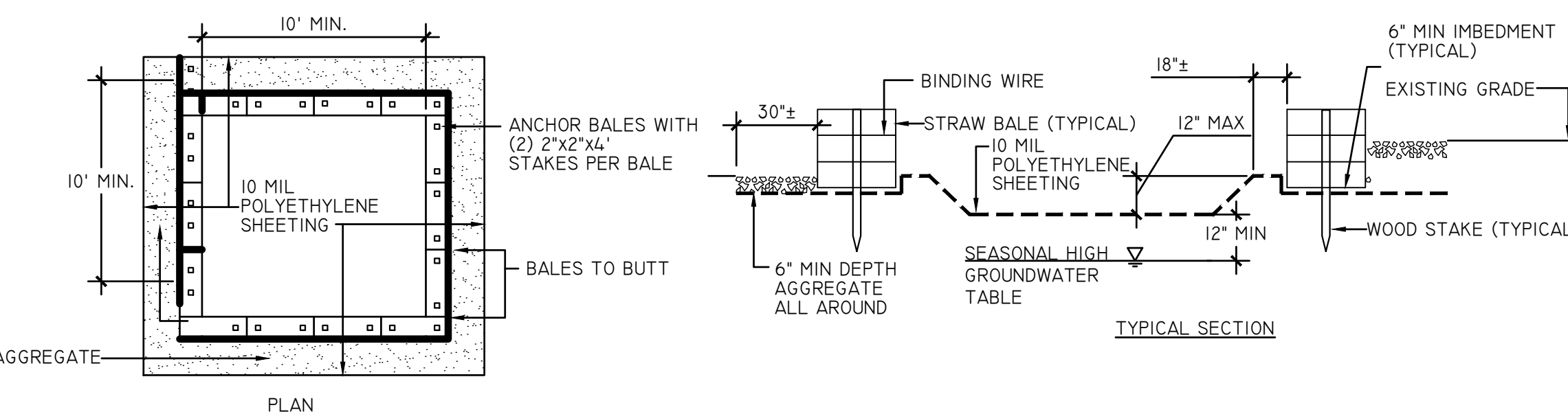
CATSKILL REGION SURVEYING SERVICES, P.C.  
 2160 STATE ST. SUITE 200  
 TANNERSVILLE, NY 12485  
 (518) 450-4030  
 WWW.CATSKILLREGIONSURVEYING.COM



- NOTES:
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 34" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FIXTER X, MARAFI 100X, STABILINKA T140N OR APPROVE EQUIVALENT IF USING THE WOVEN WIRE FENCE. IF THE WOVEN WIRE FENCE IS NOT USED, FILTER FABRIC MUST BE NYSDOT APPROVED MATERIAL LIST FOR SILT FENCE, UNSUPPORTED 1.2M POST SPACING

SILT FENCE SLOPE LENGTH/FENCE LENGTH (FT.)			
SLOPE	STANDARD FENCE	REINFORCED FENCE	SUPER
<2%	300 / 1500	NA	NA
2%-10%	125 / 1000	250 / 2000	300 / 2500
10-20%	100 / 750	150 / 1000	200 / 1000
20%-33%	60 / 500	80 / 750	100 / 1000

1 SILT FENCE DETAIL



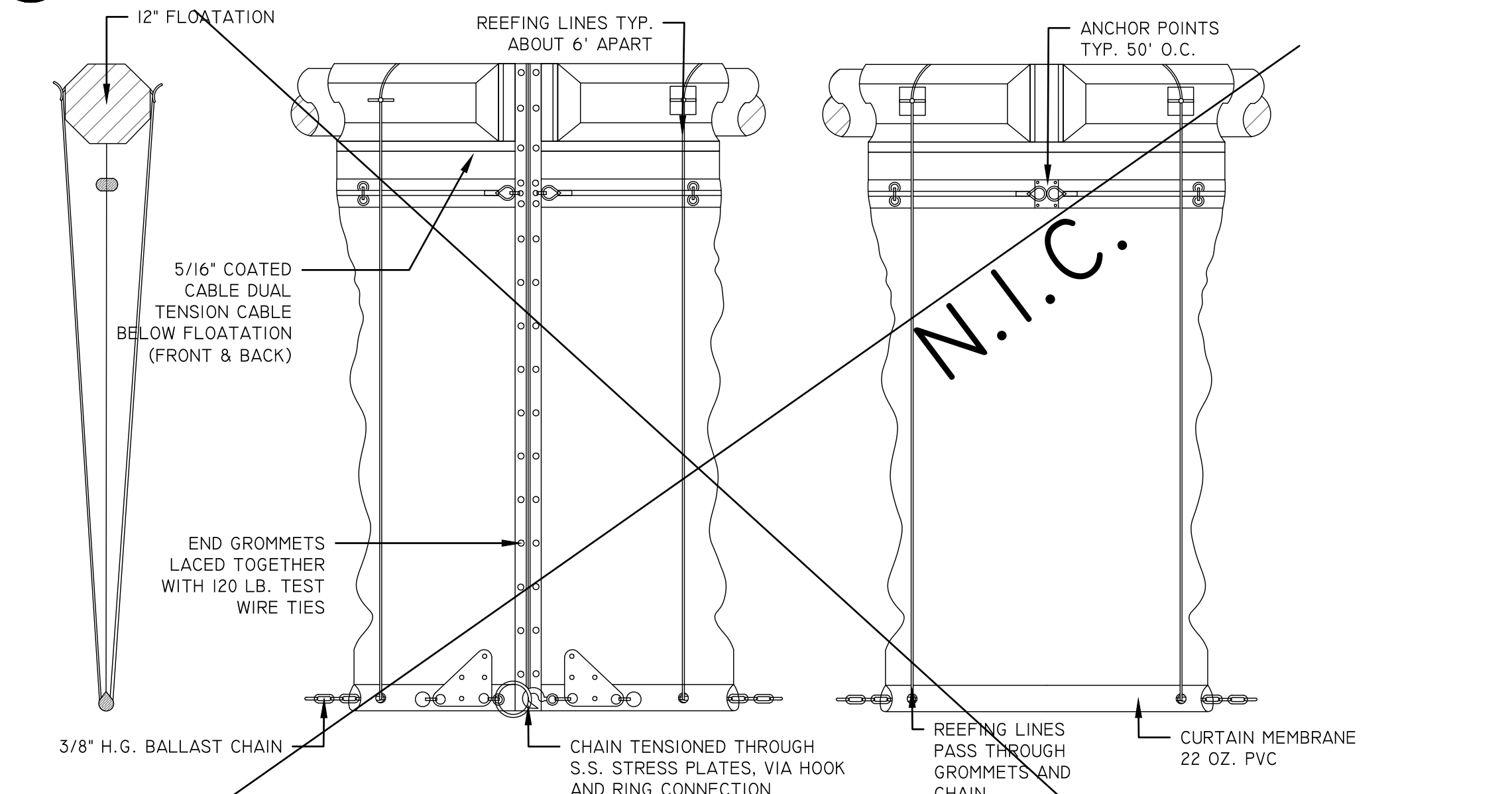
**CAPACITY:**  
THE WASHOUT FACILITY SHALL BE SIZED TO CONTAIN SOLIDS, WASH WATER, AND RAINFALL SIZED TO ALLOW FOR EVAPORATION OF WASH WATER AND RAINFALL. WASH WATER SHALL BE ESTIMATED AT 7 GALLONS PER CHUTE AND 50 GALLONS PER HOPPER OF CONCRETE PUMP TRUCK AND/OR DISCHARGING DRUM. THE MINIMUM SIZE SHALL BE 8 FEET BY 8 FEET AT THE BOTTOM AND 2 FEET DEEP. IF EXCAVATED, THE SIDE SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

**LOCATION:**  
LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS. PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD. PROVIDE APPROPRIATE ACCESS WITH GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.

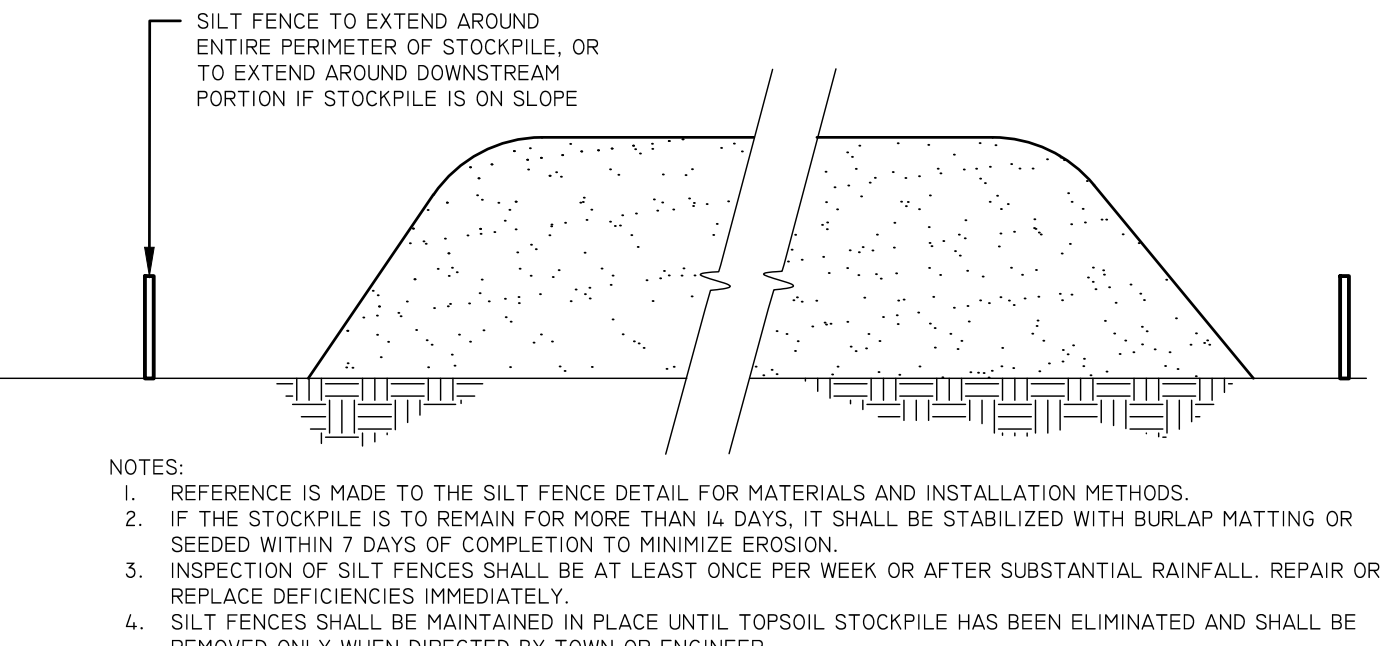
**LINER:**  
ALL WASHOUT FACILITIES SHALL BE LINED TO PREVENT LEACHING OF LIQUIDS IN THE GROUND. THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEAR, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN APPURTENANCE EXCEPT AT THE ACCESS POINT. IF PRE-FABRICATED WASHOUTS ARE USED THEY MUST ENSURE THE CAPTURE AND CONTAINMENT OF THE CONCRETE WASH AND BE SIZED BASED ON THE EXPECTED FREQUENCY OF CONCRETE POURS. THEY SHALL BE SITED AS NOTED IN THE LOCATION CRITERIA.

- MAINTENANCE:**
- ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHALL BE PUMPED TO A STABILIZED AREA SUCH AS GRASS FILTER STRIP.
  - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
  - DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
  - THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
  - INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

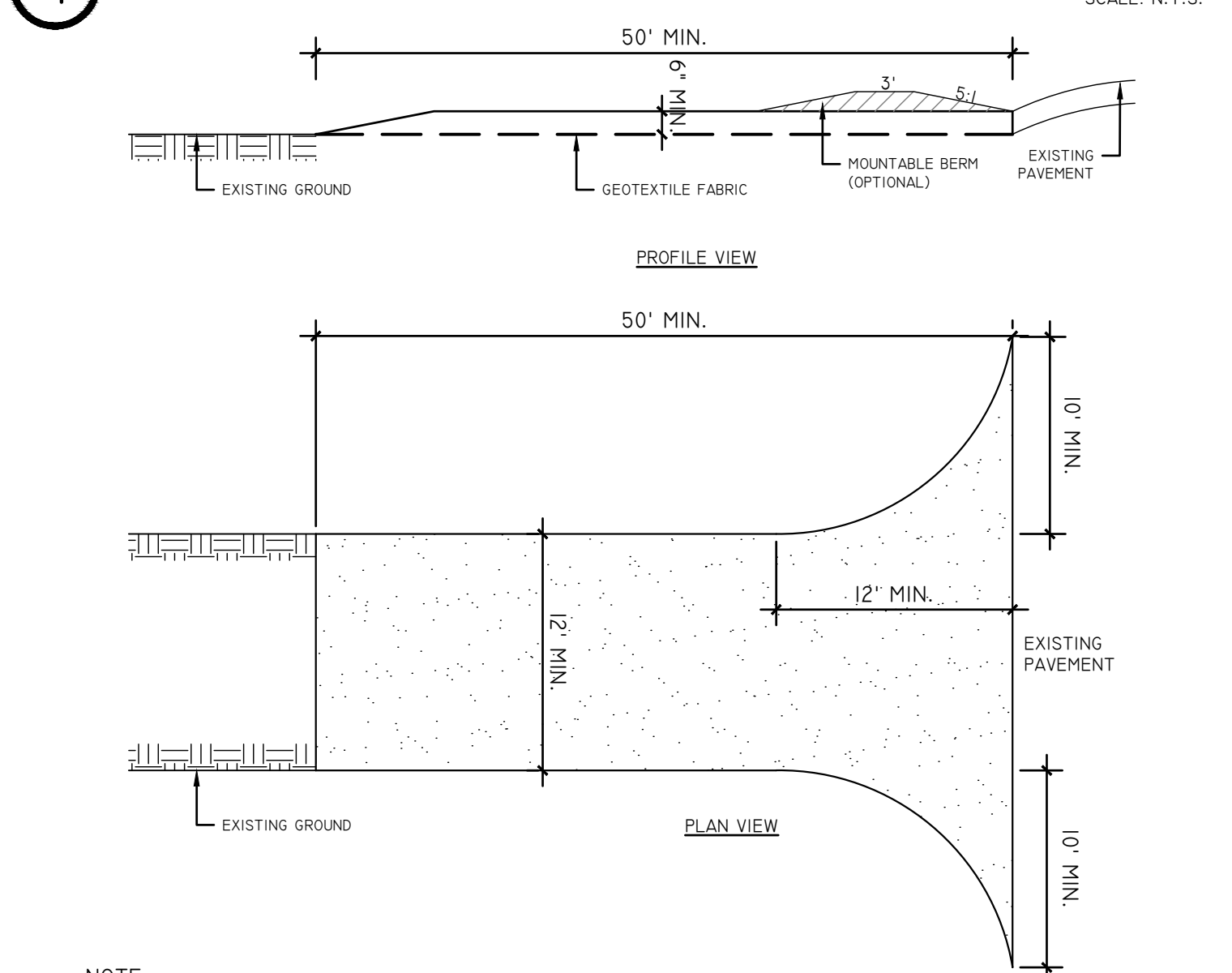
2 CONCRETE WASHOUT AREA DETAIL



3 TURBIDITY CURTAIN DETAIL



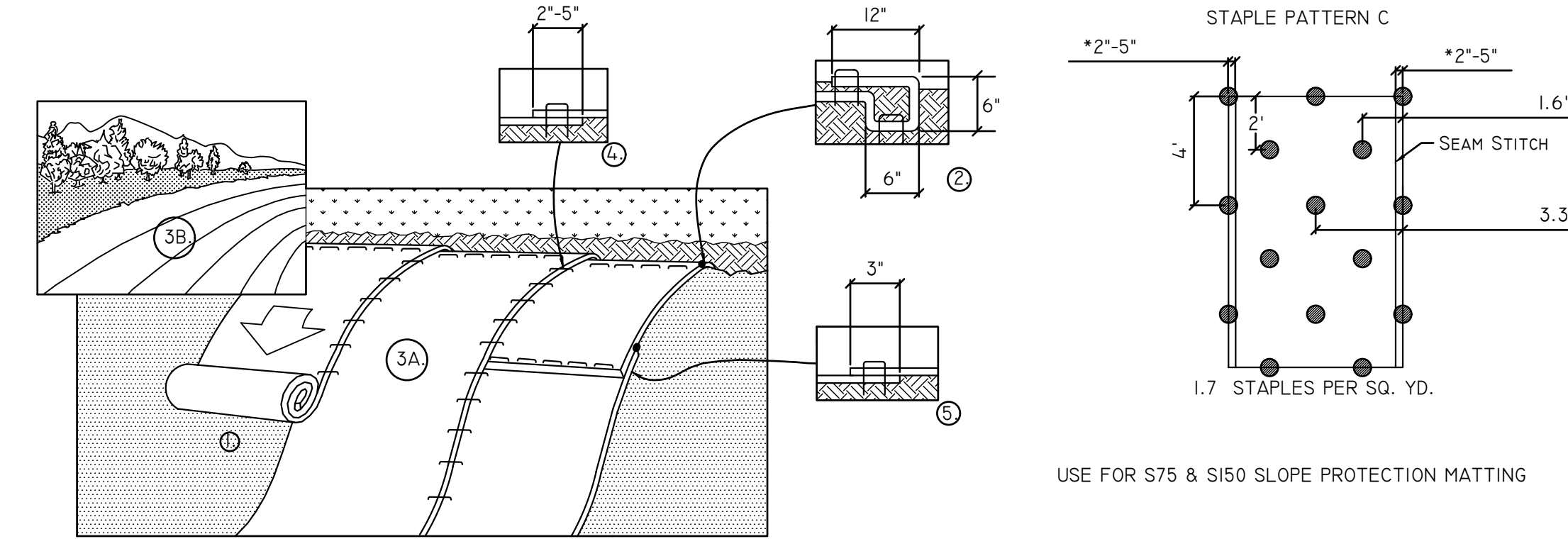
4 TOPSOIL STOCKPILE DETAIL



- NOTE:
- STONE SIZE - USE 1" - 4" TYPE 3 STONE.
  - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN 6".
  - WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH WHERE INGRESS AND EGRESS OCCUR. 24 FEET IF SINGLE ENTRANCE TO THE SITE.
  - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH A 5:1 SLOPE WILL BE PERMITTED.
  - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

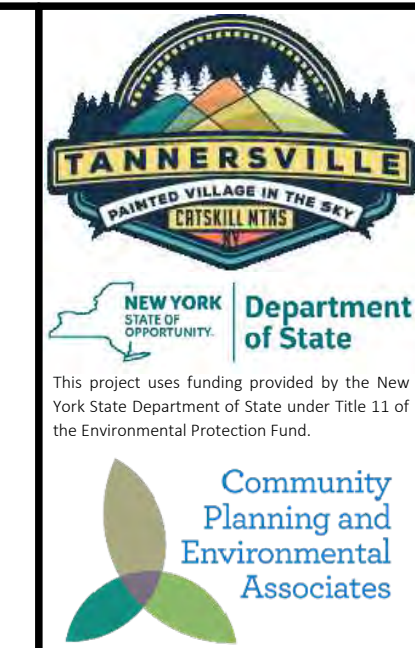
5 STABILIZED CONSTRUCTION ENTRANCE DETAIL

SPECIAL NOTE: EXISTING BITUMINOUS DRIVE MAY BE USED FOR STABILIZED CONSTRUCTION ENTRANCE IN LIEU OF GRAVEL IF PAVEMENT IS MAINTAINED/PATCHED/ETC. DURING CONSTRUCTION



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-0 SEED DO NOT SEED PREPARED AREA. CELL-0 SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTE:  
\*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

6 EROSION CONTROL BLANKET DETAIL



STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC  
MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866  
OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866  
(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY, IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.



REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID #
	01/26/23	ADDEN. 1 - ELECTRIC	
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23	REVISIONS FOR RE-BID	#2

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
DEMOLITION, EROSION & SEDIMENT CONTROL DETAILS  
DATE: 09/20/2022  
PROJECT NO. 21061  
DRAWING NO. L-5.10  
DWG 130F 20

DRAWN BY: ORJIN  
 CHECKED BY: KC/PH/UA  
 DESIGN BY: STUDIO A  
 PROJECT NO: 21061  
 DRAWING NO: L-5.10  
 DWG 130F 20  
 DATE: 09/20/2022  
 FILE NAME: Z:\PROJECTS\21061\21061\_013\_SHEET\DWG\130F\130F\_20.DWG

CHECKED BY: KC/PH/JA  
 DRAWN BY: OR/IN  
 DESIGN BY: STUDIO A

TYPE	TYPICAL PAVEMENT SECTIONS
A ASPHALT ROADWAY PAVEMENT	<p>NYS DOT 4.01 TYPE 7 TOP COURSE (BY OTHERS)          NYS DOT 4.01 TYPE 3 BINDER COURSE (BY OTHERS)          NYS DOT ITEM 304-2.03 TYPE 2 GRAVEL SUBBASE          COMPACTED SUBGRADE</p> <p>NOTE: FOR 'A' TYPE PAVEMENT GENERAL CONSTRUCTION CONTRACT TO PLACE GRAVEL SUBBASE ONLY - FINISH PAVEMENT BY OTHERS</p>
B GRAVEL ROADWAY + PARKING	<p>NYS DOT ITEM 304-2.03 TYPE 2 GRAVEL SUBBASE COMPACTED TO 95% STANDARD PROCTOR          MIRAF 500X WOVEN STABILIZATION FABRIC OR APPROVED EQUAL          COMPACTED SUBGRADE</p> <p>NOTE: STONE DUST SURFACE NOT IN CONTRACT</p>
C STABILIZED LAWN PARKING ADD ALTERNATE #7	<p>GRASS SEED MIX, (TYP.)          REINFORCED LAWN, USE ENKA MAT OR APPROVED EQUAL. SEE MANUFACTURER FOR ADDITIONAL INSTALLATION DETAILS.          MIRAF 500X WOVEN STABILIZATION FABRIC OR APPROVED EQUAL          COMPACTED SANDY GRAVEL BASE COURSE, 95% MODIFIED PROCTOR DENSITY          COMPACTED SUBGRADE</p>
D CONCRETE CONCRETE WALKS AND PAVILION PAD	<p>CONCRETE PAVEMENT - SEE DRAWING L-5.20 FOR JOINTING DETAILS          6 X 6 W2.9 X W2.9 WOVEN WIRE MESH          NYS DOT ITEM 304-2.03 TYPE 2 GRAVEL SUBBASE          COMPACTED SUBGRADE</p>
E CRUSHER DUST TRAILS + PICNIC AREAS	<p>1" COMPACTED STONE DUST NYS DOT ITEM 304.0194.004          1/2" COMPACTED STONE DUST NYS DOT ITEM 304.0194.004          4" NYS DOT ITEM 304-2.03 TYPE 2 GRAVEL SUBBASE COMPACTED TO 95% STANDARD PROCTOR          COMPACTED SUBGRADE TO 90% PROCTOR</p>
F ENGINEERED WOOD FIBER (EWF) PLAY AREA SURFACING	<p>WOOD FIBER MULCH (SHREDDED CEDAR MULCH - NATURAL - NO COLOR DYE)          5# GEOTEXTILE FABRIC OR APPROVED EQUAL          NYS DOT ITEM 304-2.03 TYPE 2 GRAVEL SUBBASE          5" GEOTEXTILE FABRIC OR APPROVED EQUAL          COMPACTED SUBGRADE TO 90% PROCTOR          4" PERFORATED DRAIN PIPE, SLOPE @ 2% TOWARDS RAIN GARDEN (BR-10)</p>

NOTE: FOR ALL REFERENCES TO NYS DOT, SEE THE NYS DOT 2008 STANDARD SPECIFICATIONS

**1 PAVEMENT SCHEDULE**

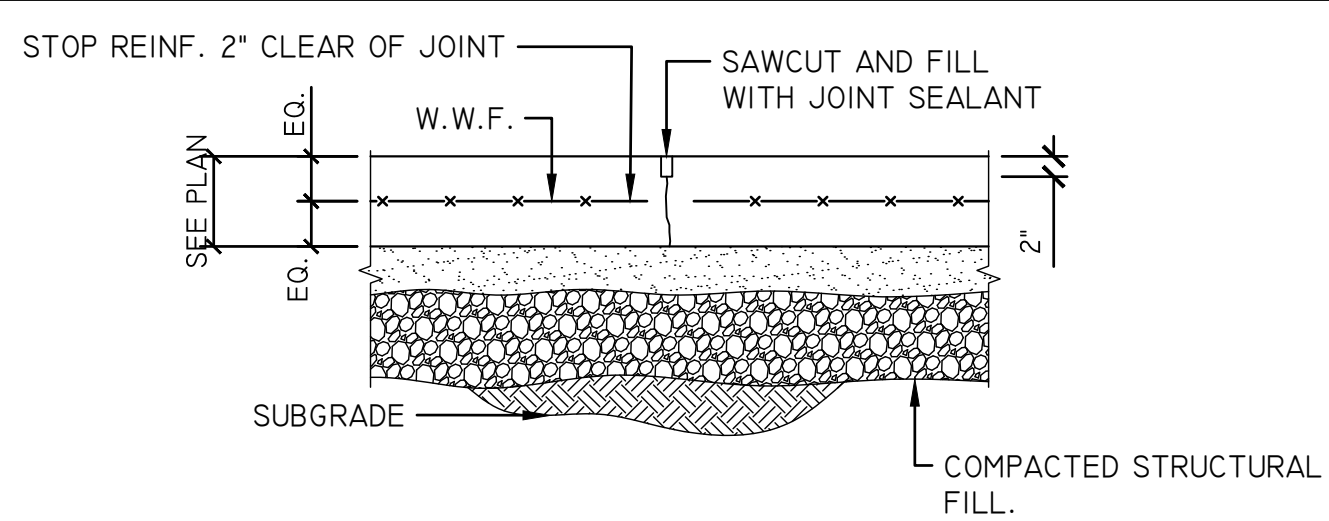
SCALE: N.T.S.

**2 CONCRETE EXPANSION JOINT DETAIL**

SCALE: N.T.S.

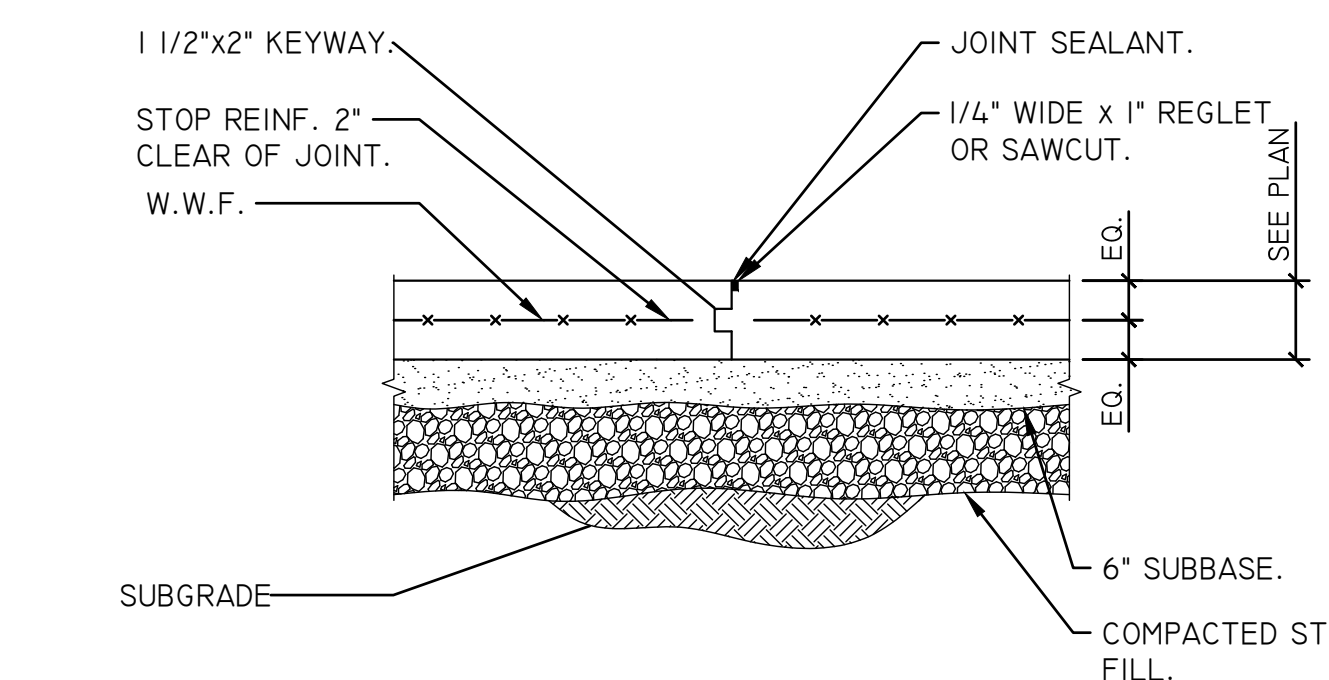
**3 CONCRETE CONTROL JOINT DETAIL**

SCALE: N.T.S.



**4 TYPICAL SLAB ON GRADE CONTROL JOINT**

SCALE: N.T.S.



**5 TYPICAL SLAB ON GRADE CONSTRUCTION JOINT**

SCALE: N.T.S.

**9 FLAG POLE BASE DETAIL**

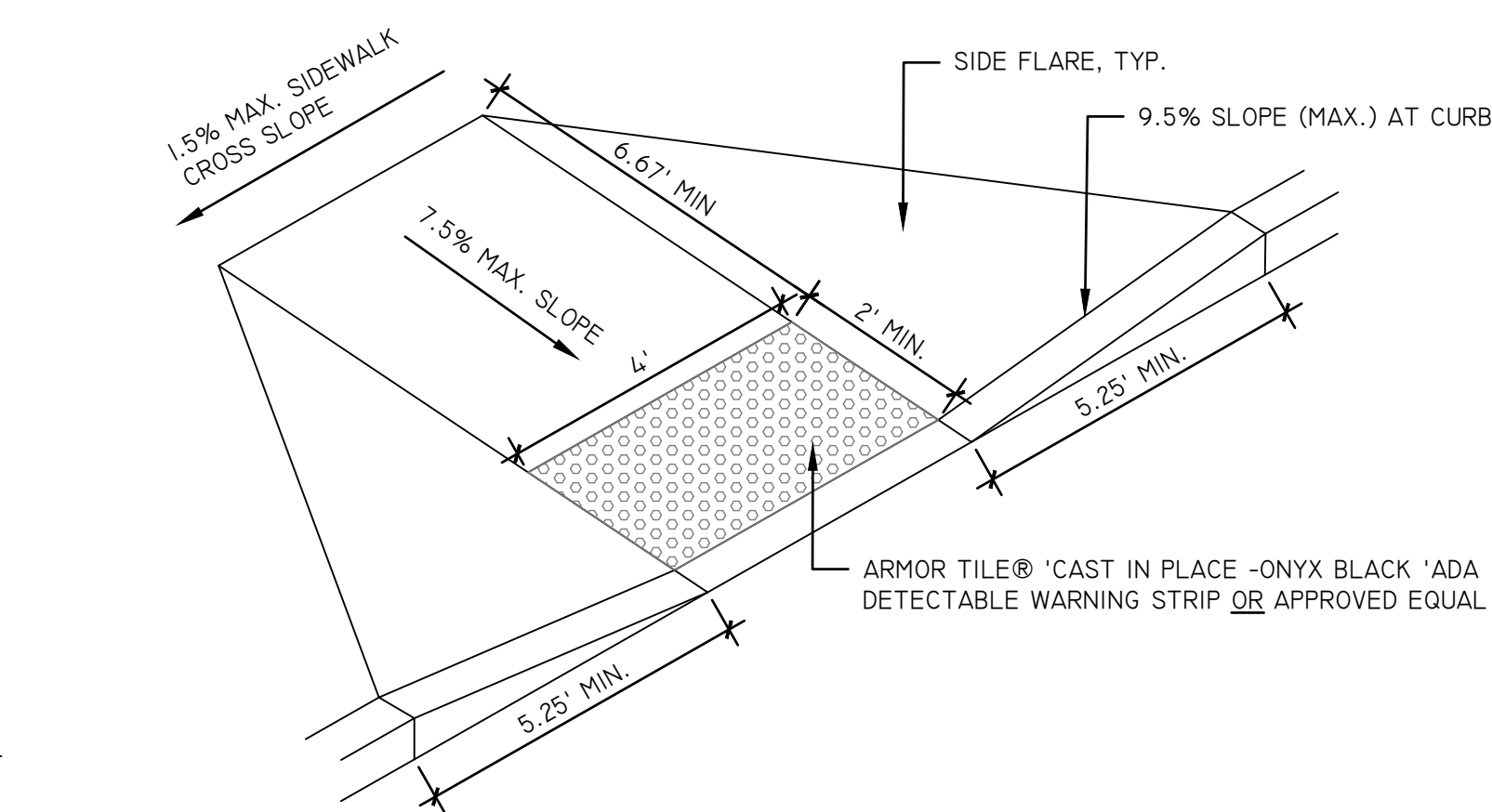
SCALE: N.T.S.

**6 CONCRETE CURB DETAIL**

SCALE: 1\"/>

**7 TERMINATION CURB DETAIL**

SCALE: N.T.S.

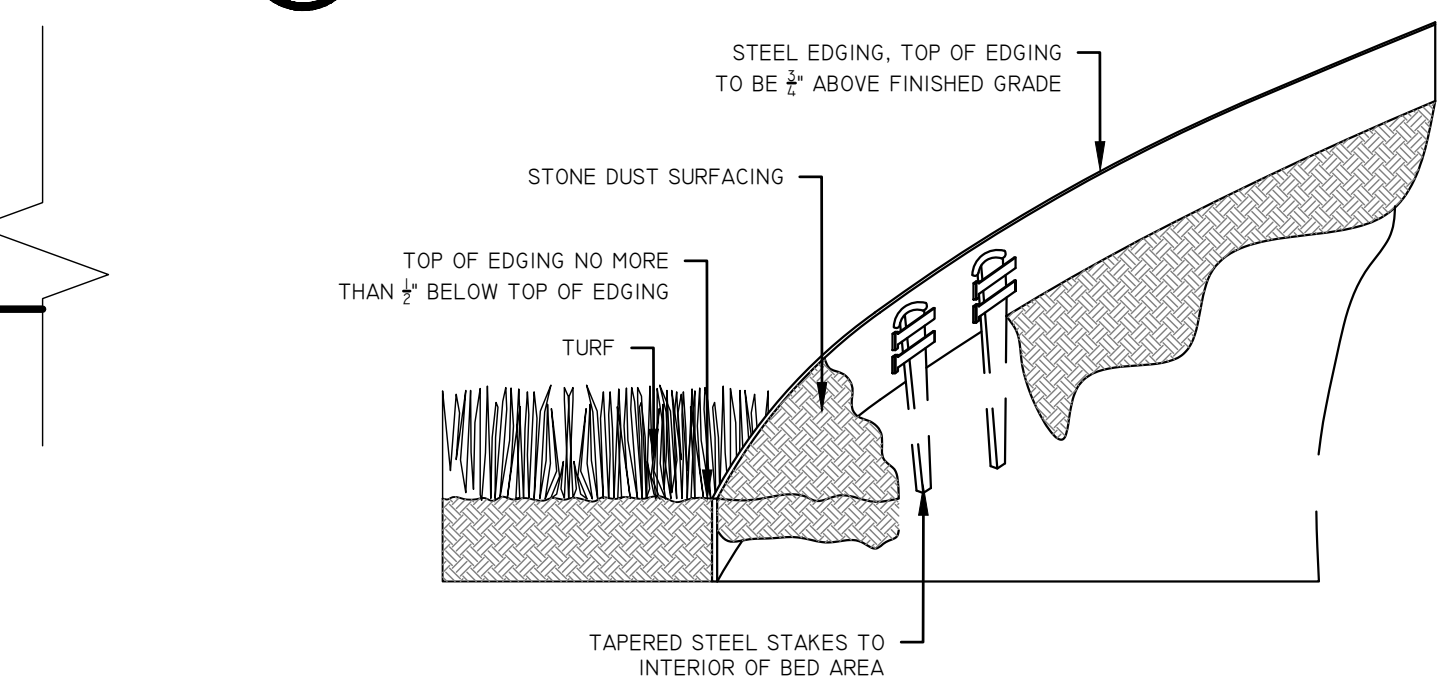


**8 ADA ACCESSIBLE RAMP DETAIL**

SCALE: N.T.S.

**10 GRILL FOUNDATION DETAIL (UNIT PRICE BID)**

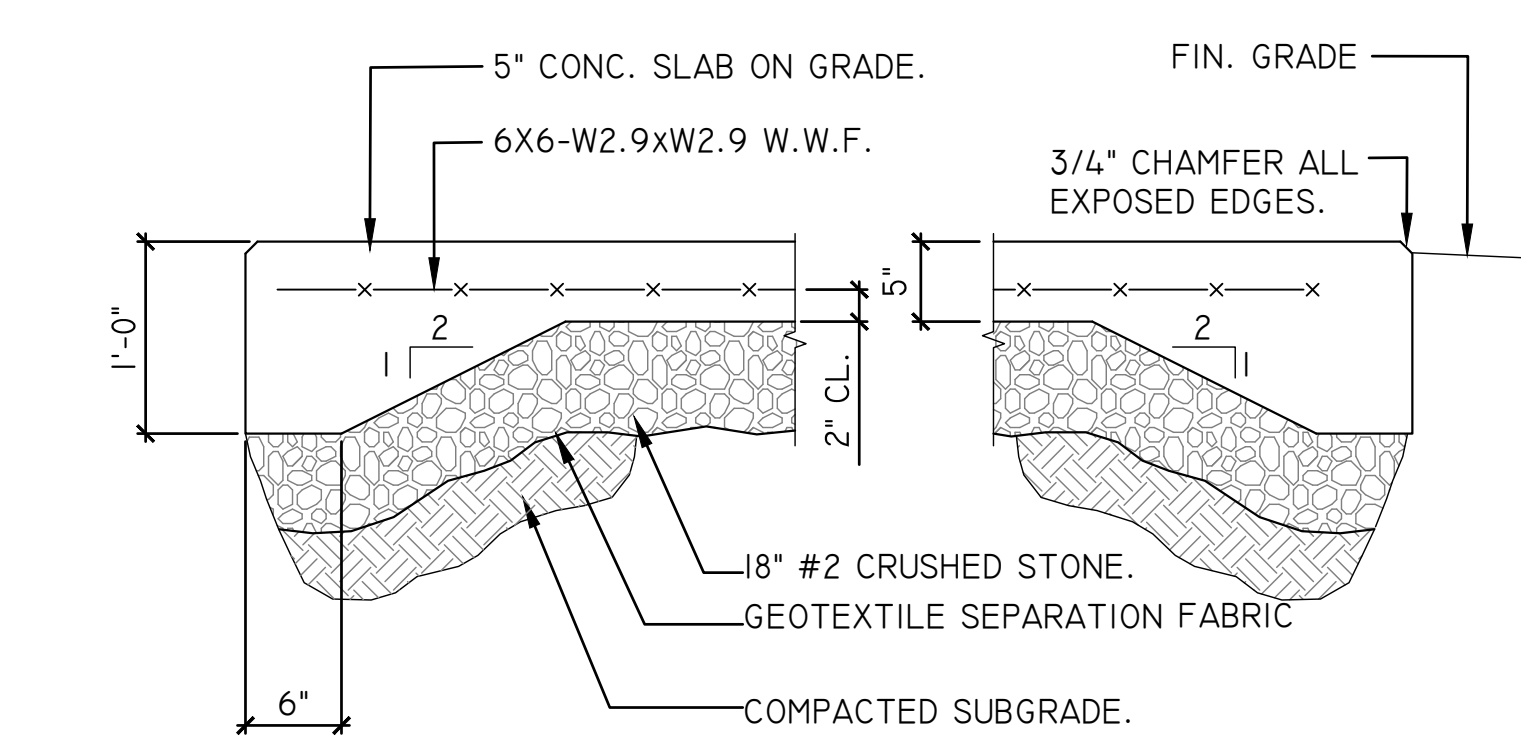
SCALE: N.T.S.



NOTES:  
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**11 STEEL EDGING DETAIL**

SCALE: N.T.S.



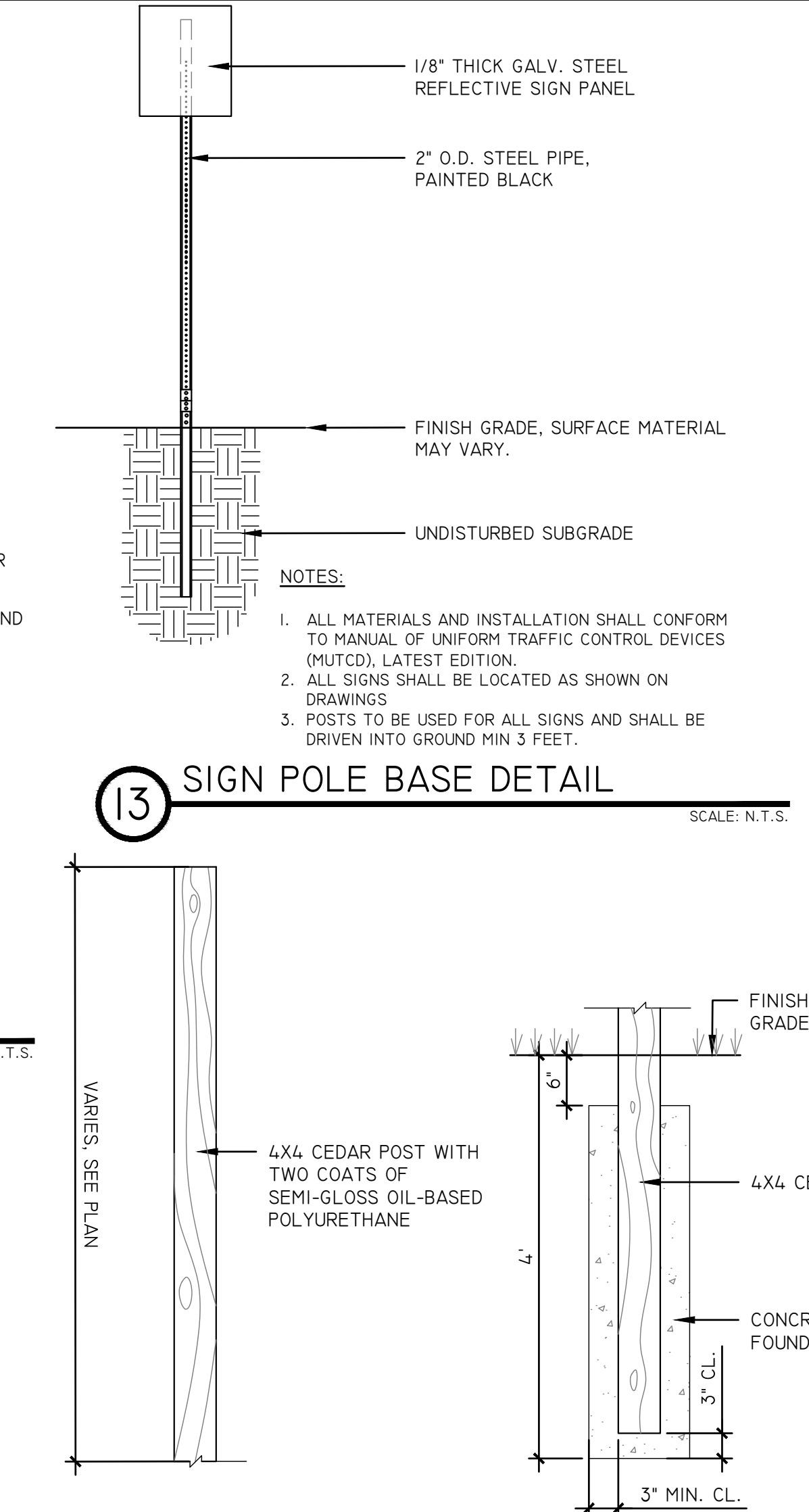
NOTE:  
 COORDINATE SIZE & LOCATION OF PAD W/DWG. L-1.10 AND L-1.20

**12 CONCRETE HEADWALL DETAIL**

(ADD ALT. #1 FOR FISHING PIER)  
 DEDUCT ALT. #2 FOR KAYAK/CANOE LAUNCH

**14 BIRDHOUSE POST (DEDUCT ALT. #6)**

SCALE: 3/4\"/>



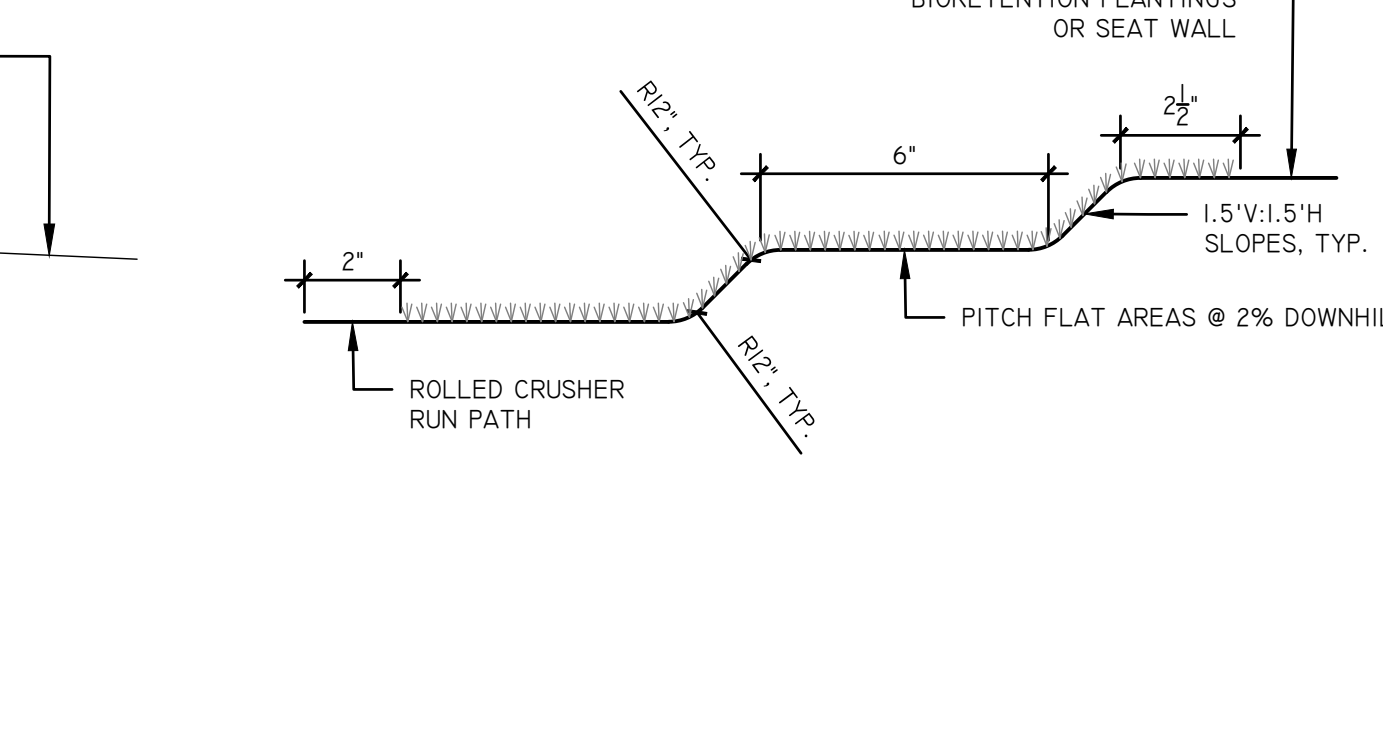
**15 SIGN TABLE DETAIL**

SCALE: N.T.S.

SITE SIGN TABLE				
SIGN NO.	DESCRIPTION	M.U.T.C.D. NO./SIZE	QUANTITY	COLORS
A		R7-1 12\"/>		
B		R6-(L)/(R) (36\"/>		
C		M1982 12\"/>		

**16 AMPHITHEATER SEATING DETAIL**

SCALE: 3\"/>



**16 AMPHITHEATER SEATING DETAIL**

SCALE: 3\"/>

**TANNERSVILLE**  
 PAINTED VILLAGE IN THE HEART OF ESSENTIALS

NEW YORK STATE OF OPPORTUNITY  
 Department of State

This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

Community Planning and Environmental Associates

studioA  
 Landscape Architecture + Engineering, DPC

STUDIO A  
 LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
 PO BOX 272  
 SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
 38 HIGH ROCK AVE, SUITE 3  
 SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

KRISTIN CATE  
 REGISTERED LANDSCAPE ARCHITECT & ENGINEER  
 STATE OF NEW YORK  
 2714

REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID #2
	01/26/23	ADDEN. 1 - ELECTRIC	
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23	REVISIONS FOR RE-BID	

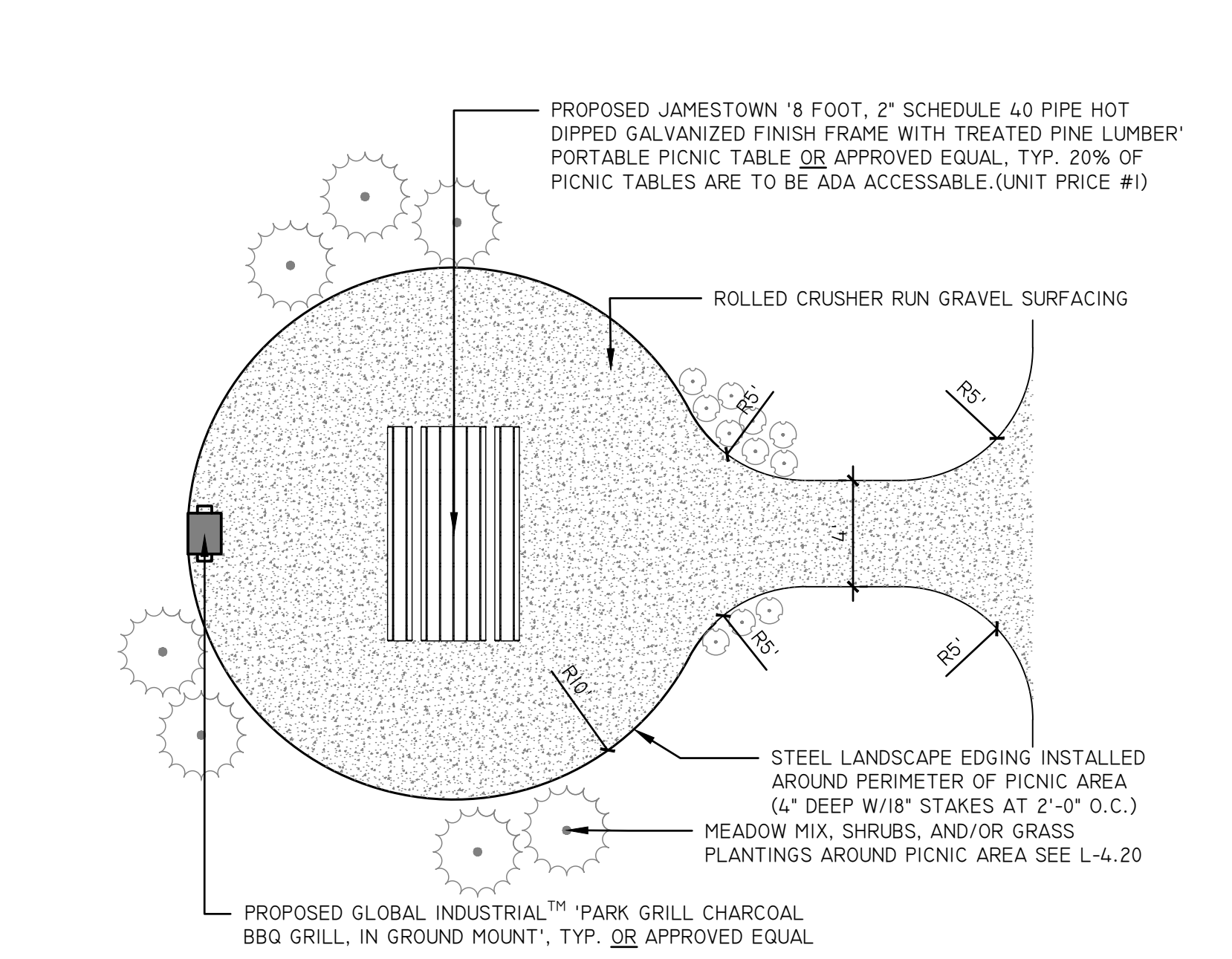
PREPARED FOR  
**VILLAGE OF TANNERSVILLE**  
 1 PARK LANE  
 TANNERSVILLE, NY 12485

PROJECT  
**RIP VAN WINKLE LAKE PARK**

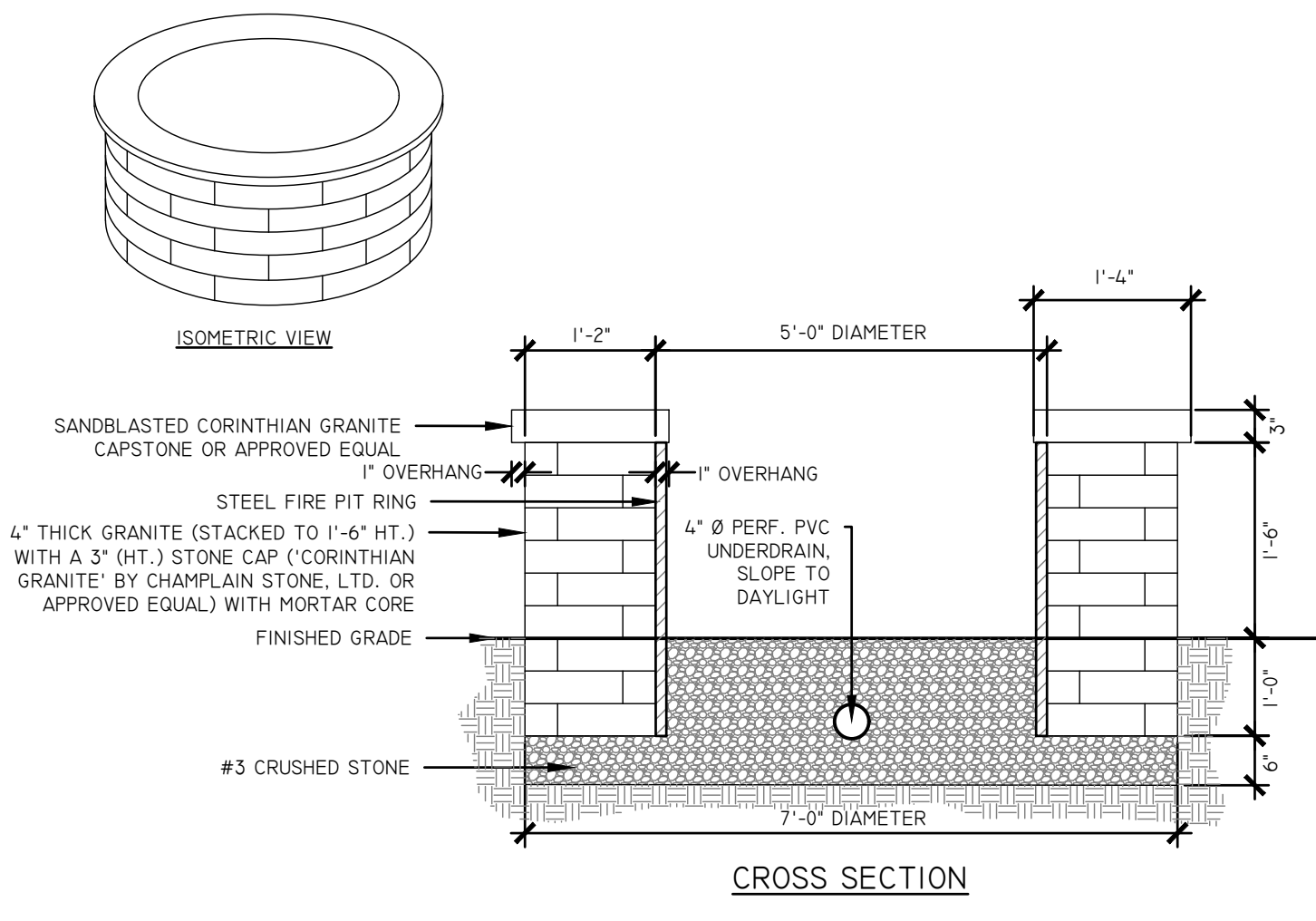
DRAWING TITLE  
**CONSTRUCTION DETAILS**

DATE: 09/20/2022  
 PROJECT NO. 21061  
 DRAWING NO. L-5.20  
 DWG 14 OF 20

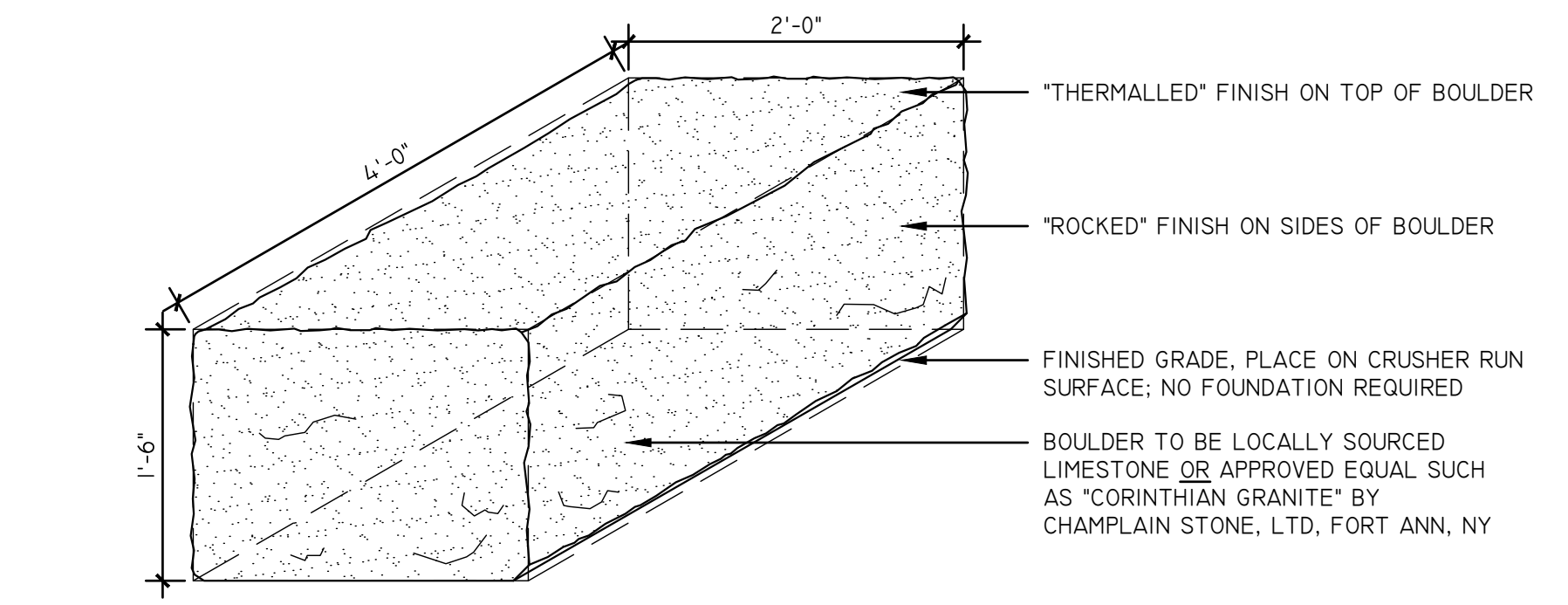
CHECKED BY: KC/PH/A  
 DRAWN BY: OR/IN  
 DESIGN BY: STUDIO A  
 PROJECT NO. 21061  
 DATE: 09/20/2022  
 FILE NAME: L-5.30



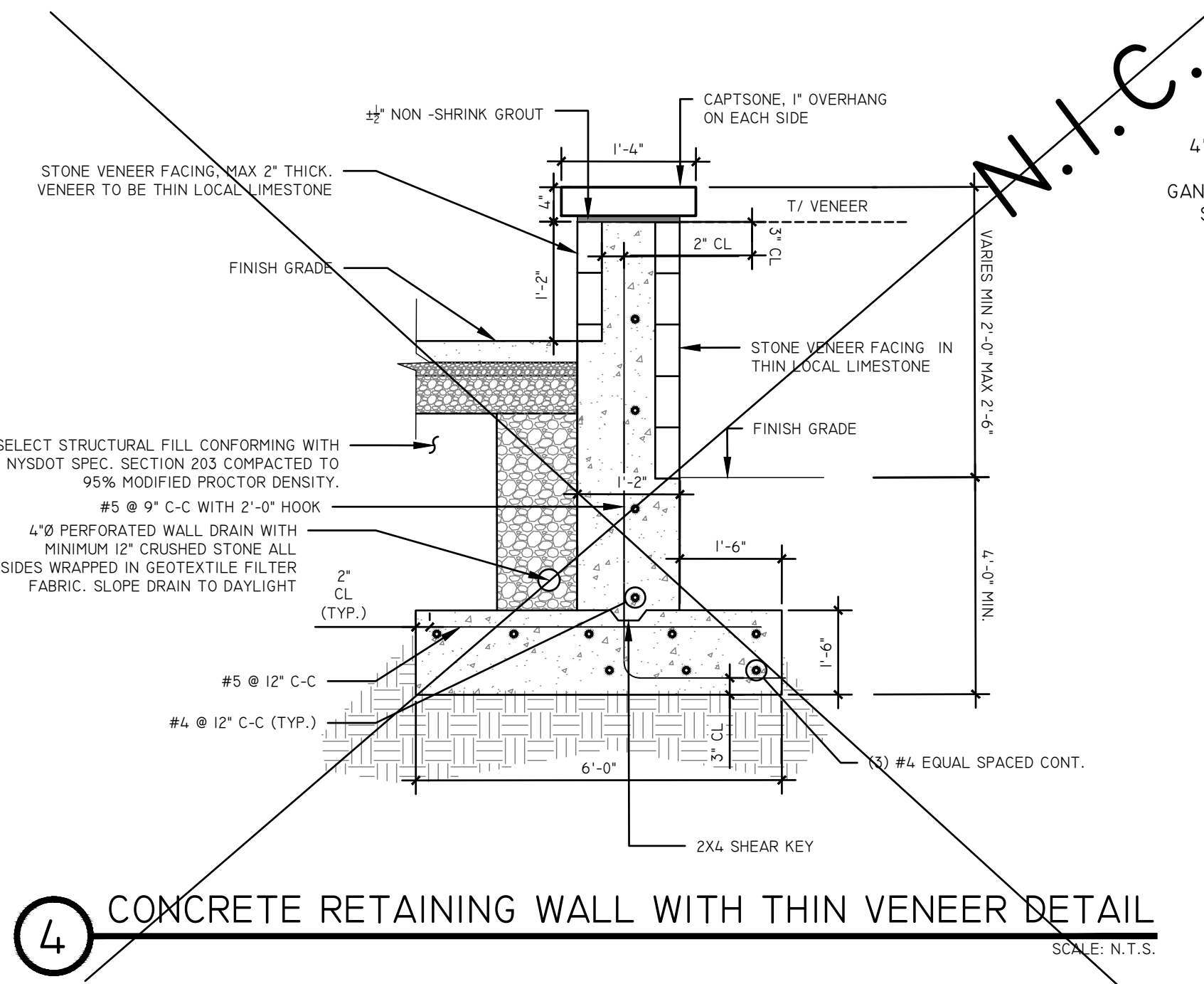
**1** TYPICAL LAKESIDE PICNIC AREA DETAIL  
 (UNIT PRICE #1) SCALE: 3/16"=1'-0"



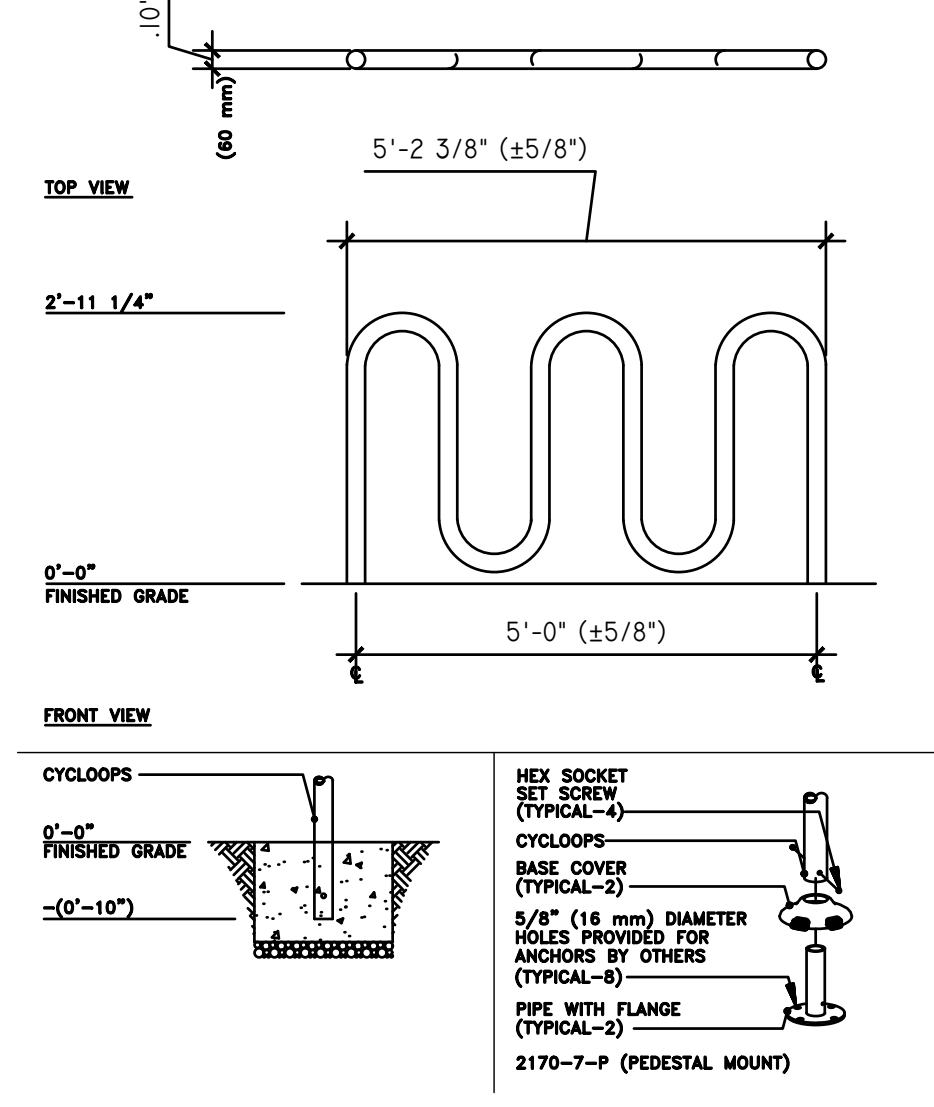
**3** CIRCULAR FIRE PIT SCALE: N.T.S.



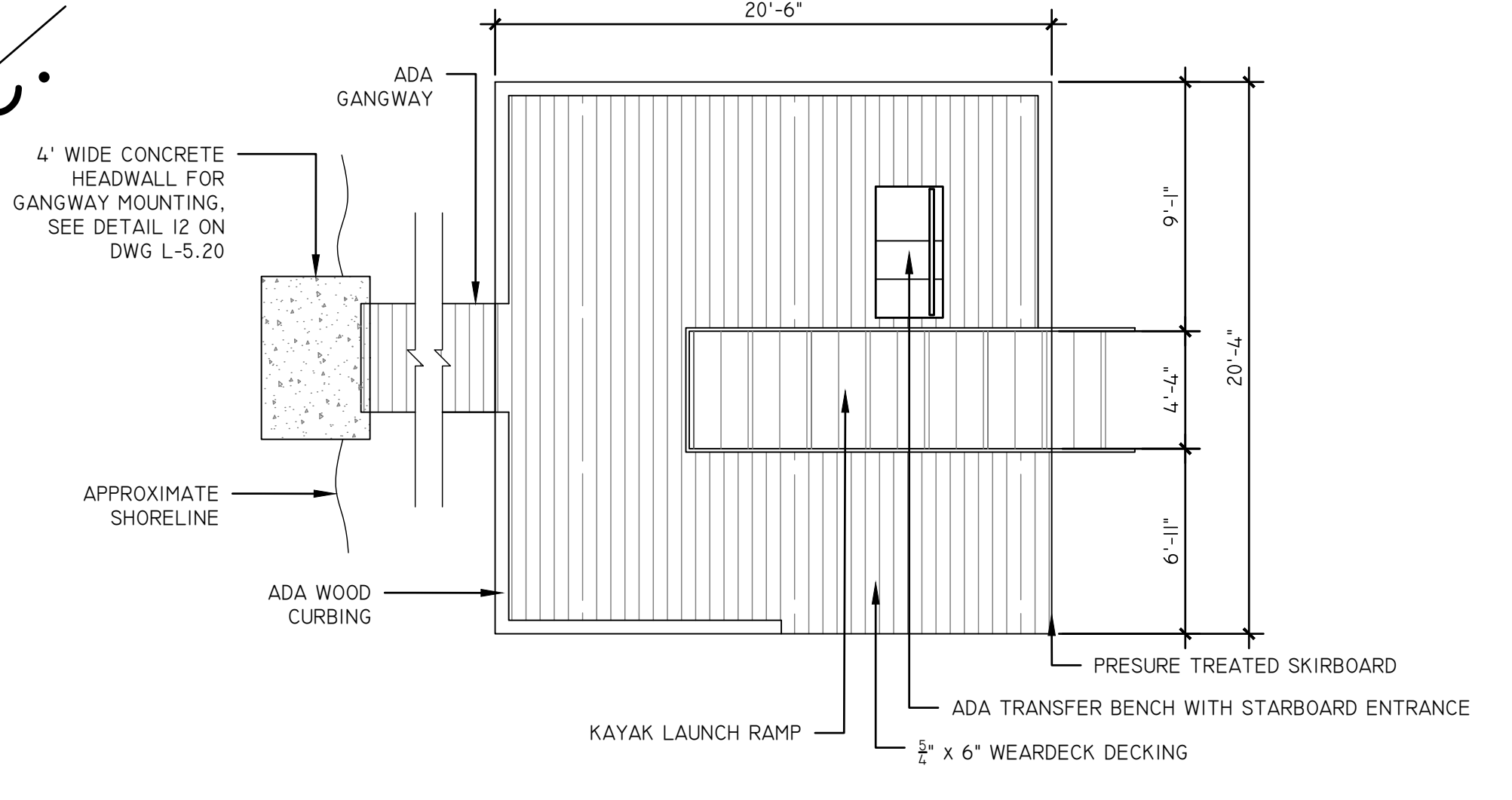
**3** BOULDER SEATING AND AMPHITHEATER SEATING DETAIL (DEDUCT ALTERNATE #4) SCALE: 1"=1'-0"



**4** CONCRETE RETAINING WALL WITH THIN VENEER DETAIL SCALE: N.T.S.

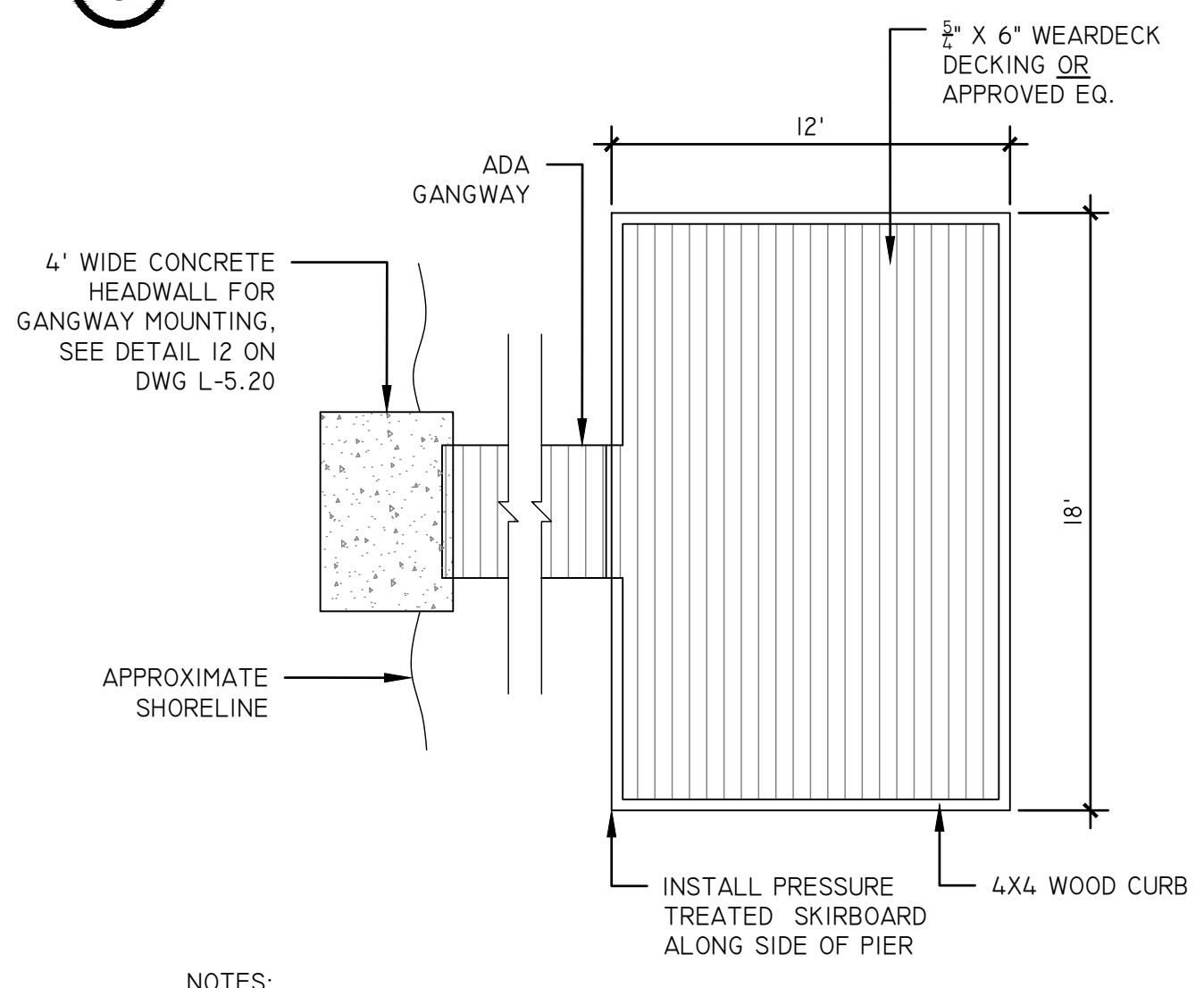


**5** BIKE RACK SCALE: N.T.S.



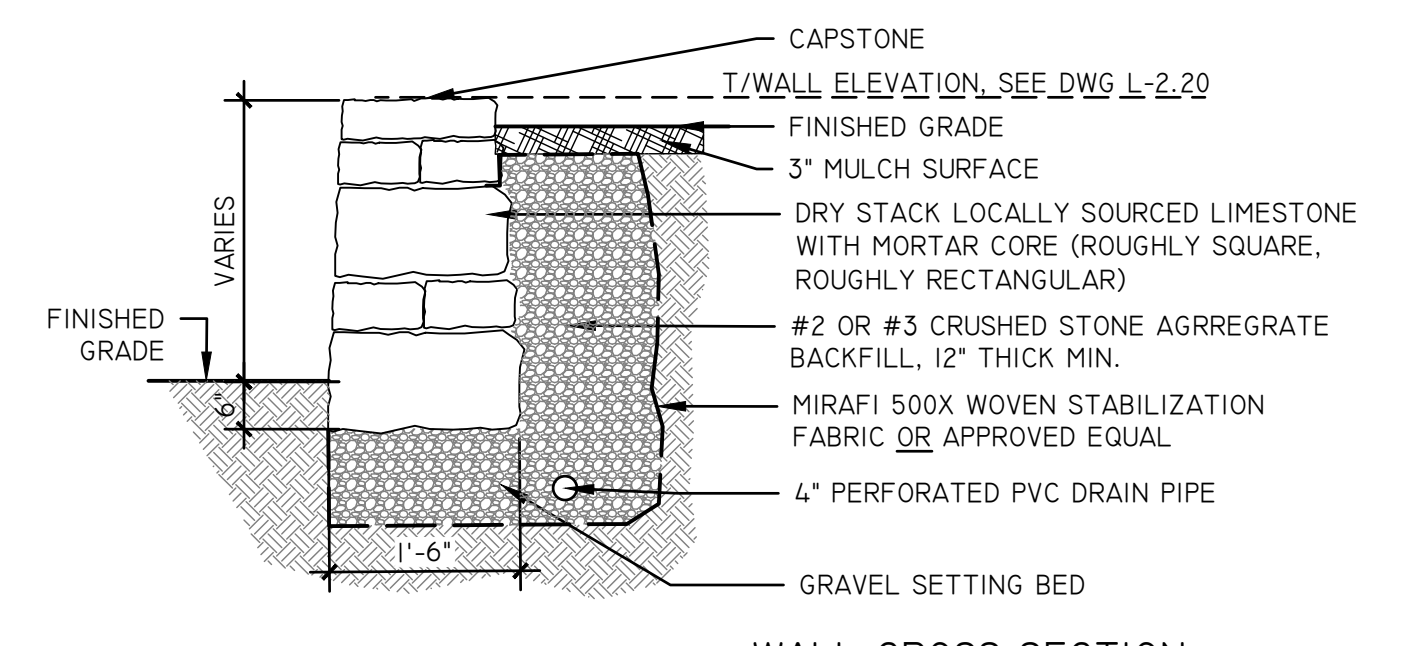
**6** KAYAK LAUNCH DETAIL (DEDUCT ALT. #2) SCALE: 3/16"=1'-0"

NOTE:  
 1. KAYAK LAUNCH TO BE MANUFACTURED BY THE DOCK DOCTORS® OR APPROVED EQUAL  
 2. DOCK TO BE A FLOATING DOCK (NO PILES)

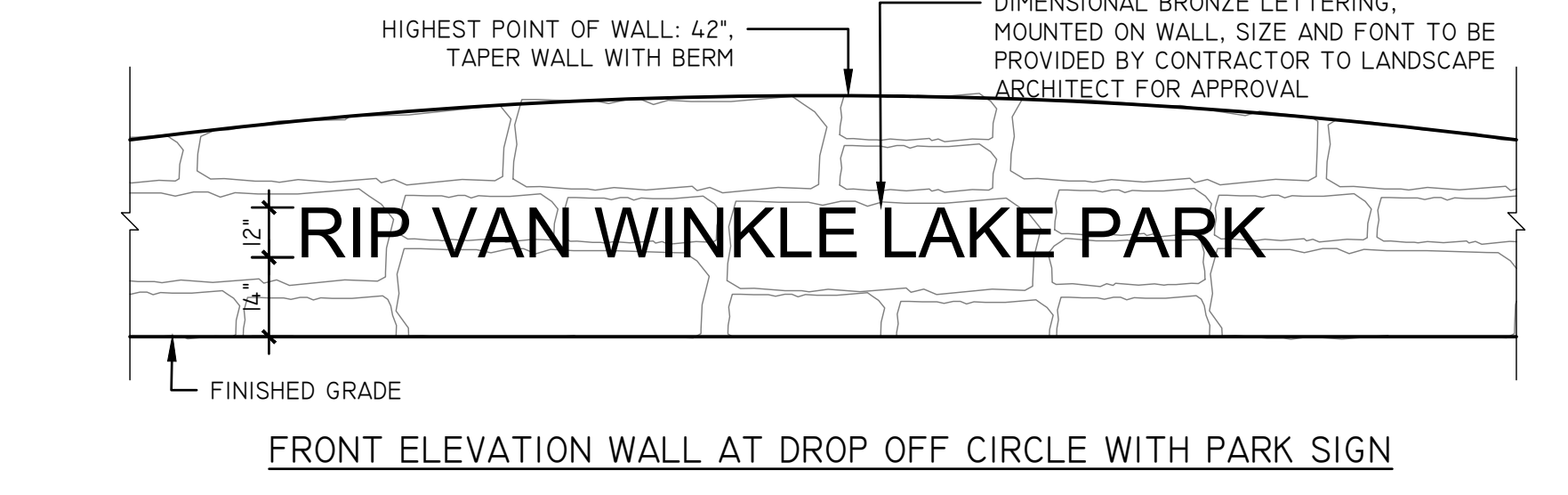
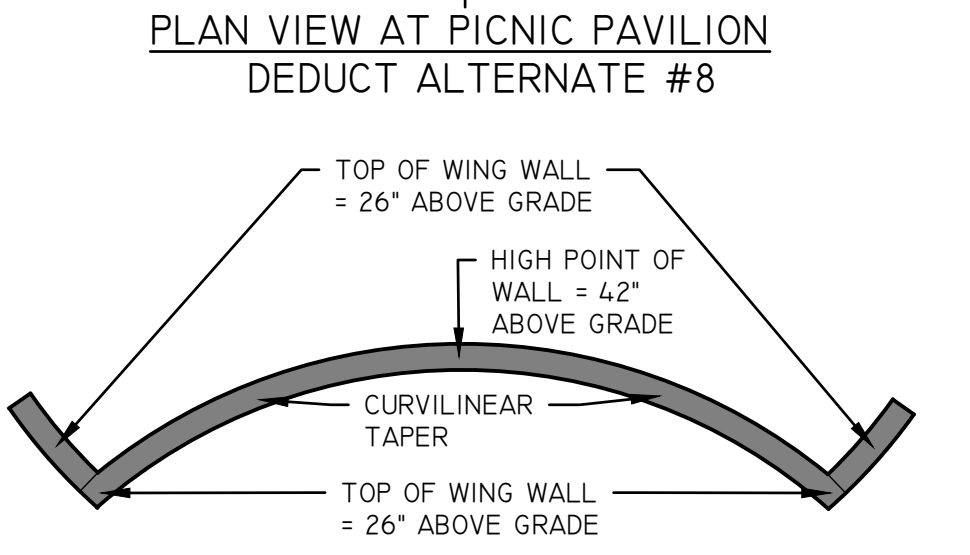
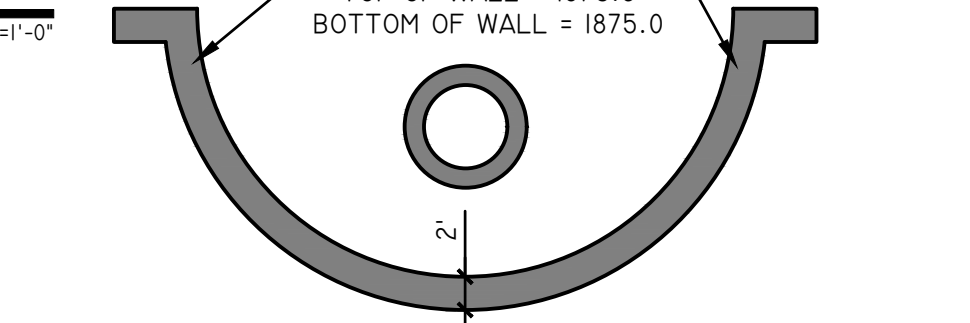


**7** FISHING PIER DETAIL (ADD ALTERNATE # 1) SCALE: 3/16"=1'-0"

NOTES:  
 1. FISHING PIER TO BE MANUFACTURED BY THE DOCK DOCTORS® OR APPROVED EQUAL.  
 2. PIER TO BE A FLOATING PIER (NO PILES)



**7** WALL CROSS SECTION



**8** DROP OFF CIRCLE SIGN (DEDUCT ALT. 5) AND WALL DETAIL AND SEAT WALL AT PICNIC PAVILION (DEDUCT ALT. #8) SCALE: N.T.S.

**TANNERSVILLE**  
 VILLAGE OF TANNERSVILLE  
 1 PARK LANE  
 TANNERSVILLE, NY 12485

NEW YORK STATE  
 Department of State  
 This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

Community Planning and Environmental Associates

studioA  
 Landscape Architecture + Engineering, DPC

STUDIO A  
 LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
 PO BOX 272  
 SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
 38 HIGH ROCK AVE, SUITE 3  
 SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OR SIGNATURE OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID
	01/26/23	ADDEN. 1 - ELECTRIC	#2
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23		

PREPARED FOR  
 VILLAGE OF TANNERSVILLE  
 1 PARK LANE  
 TANNERSVILLE, NY 12485

PROJECT  
 RIP VAN WINKLE LAKE PARK

DRAWING TITLE  
 CONSTRUCTION DETAILS

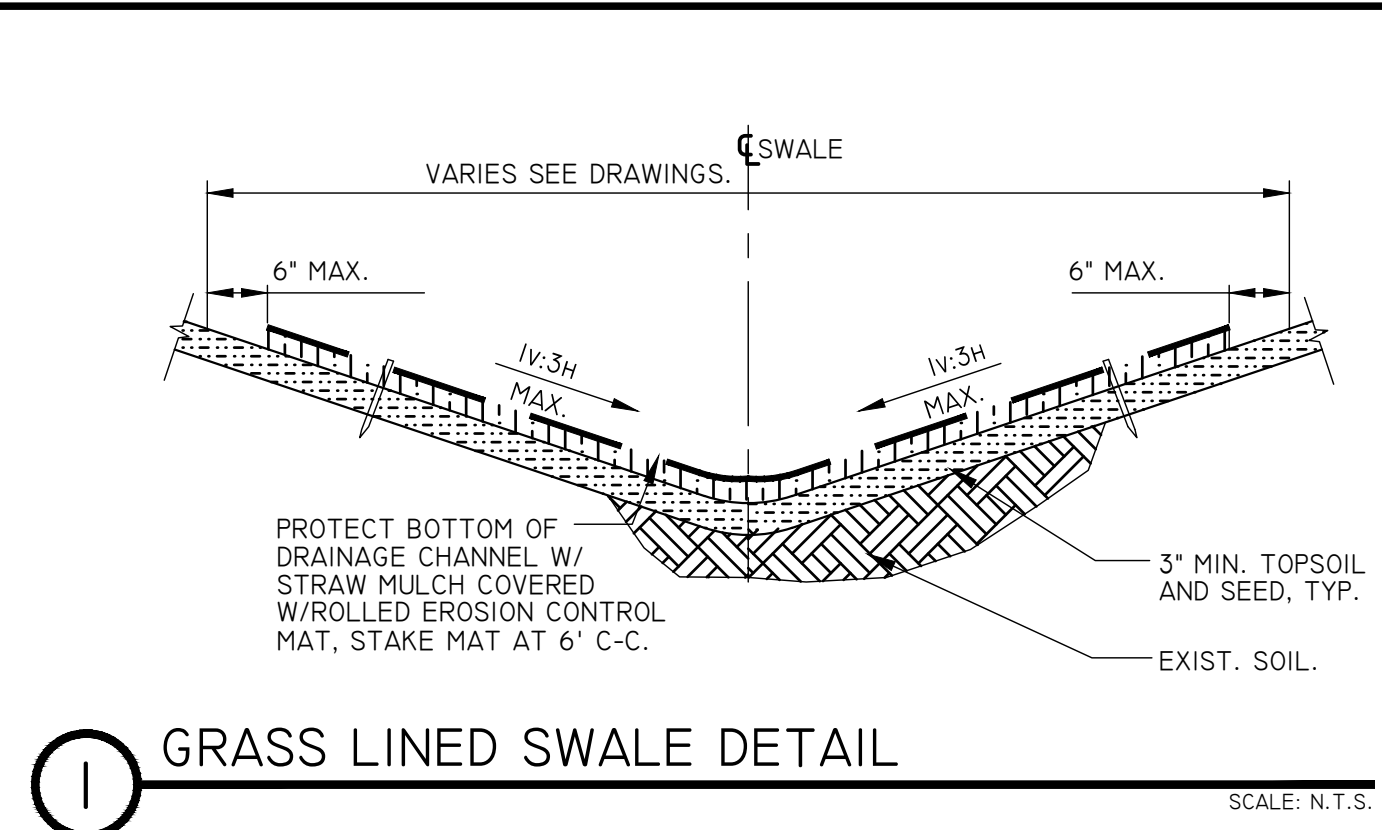
DATE: 09/20/2022

PROJECT NO.  
 21061

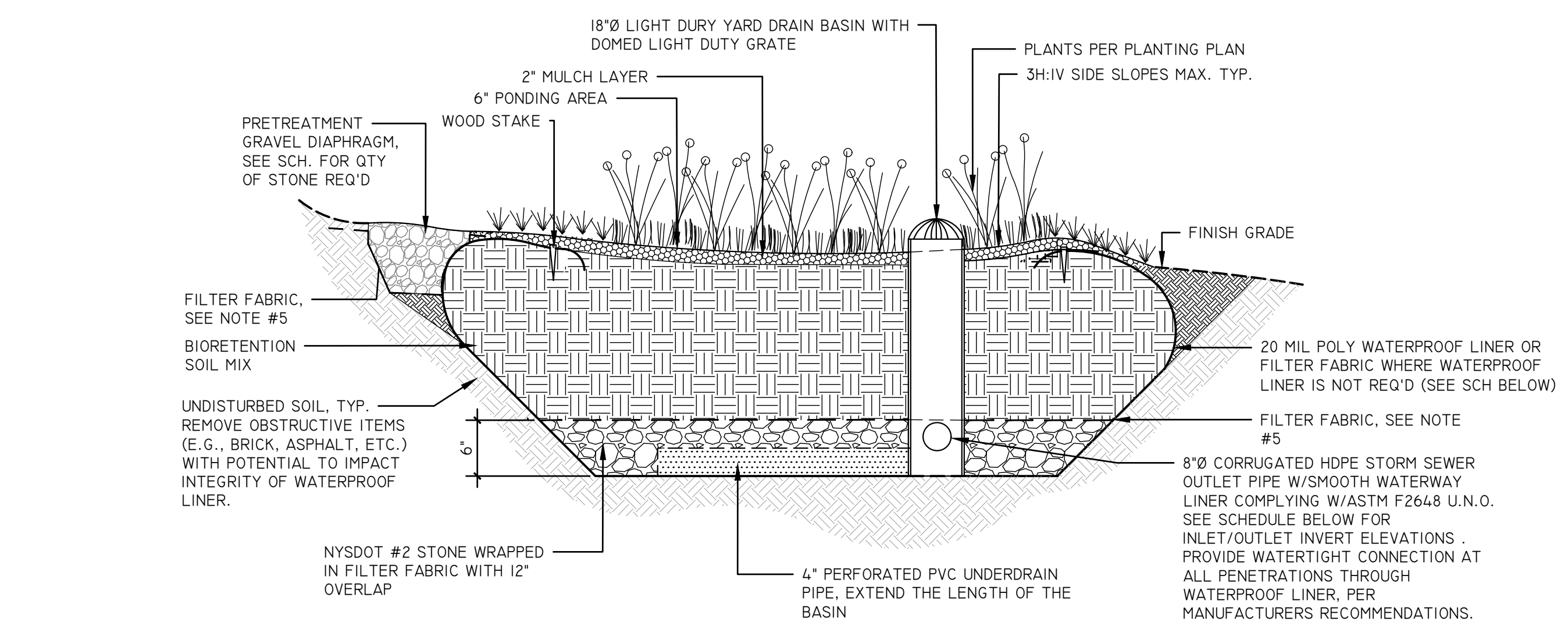
DRAWING NO.  
**L-5.30**

DWG 15 OF 20

CHECKED BY: KC/PH/JA  
 DRAWN BY: STUDIO A  
 DESIGN BY: STUDIO A  
 PROJECT NO: 210161  
 DATE: 09/20/2022  
 FILE NAME: L-5.40 CONSTRUCTION DETAILS.dwg



**1 GRASS LINED SWALE DETAIL**  
SCALE: N.T.S.



**NOTES:**

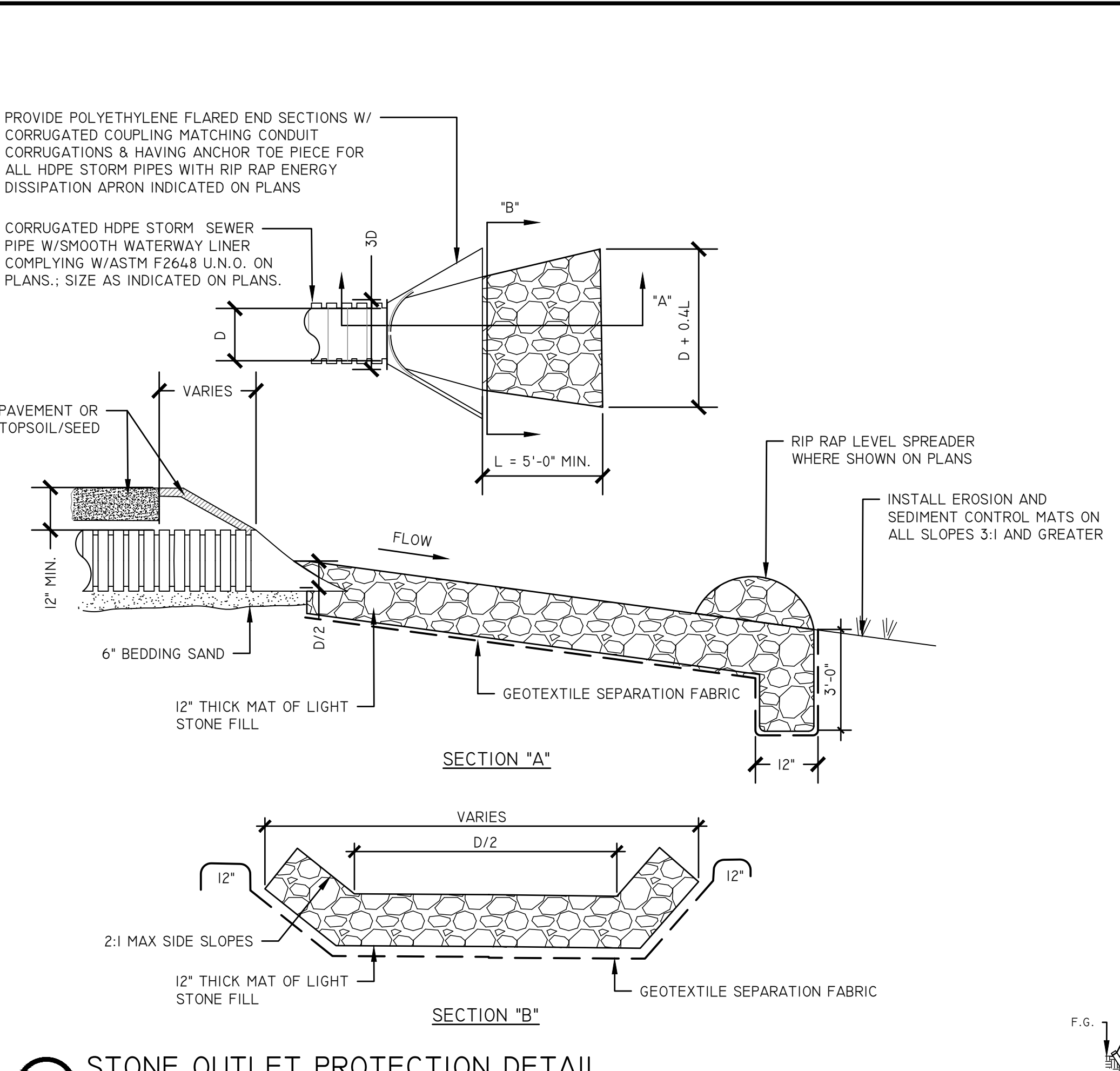
- THE SOIL FOR BIORETENTION SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO (2) INCHES IN DIAMETER. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO PLANTING MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF NOXIOUS WEEDS. THE SOIL MIXTURE SHALL BE A MIXTURE OF TWO (2) PARTS SAND AND ONE (1) PART TOPSOIL, BY VOLUME. SAND SHALL MEET THE REQUIREMENTS OF NYS DOT § 703.07 CONCRETE SAND. THE TOPSOIL SHALL MEET THE REQUIREMENTS OF NYS DOT § 713-01 TOPSOIL-TYPE A. THE MIXTURE SHALL HAVE A PH RANGE OF 5.2 TO 7.6.
- THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
 

PH RANGE	5.2 - 7.6
ORGANIC MATTER	1.5% - 4%
MAGNESIUM	35LB./AC
PHOSPHORUS P <sub>2</sub> O <sub>5</sub>	75LB./AC
POTASSIUM K <sub>2</sub> O	85LB./AC
SOLUBLE SALTS	NOT TO EXCEED 500PPM
- ALL BIORETENTION AREAS SHALL HAVE A MINIMUM OF ONE (1) TEST. EACH TEST SHALL CONSIST OF BOTH STANDARD SOIL TEST FOR PH, PHOSPHOROUS, AND POTASSIUM AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. IF TOPSOIL IS IMPORTED, THEN THE TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.
- PLANTING BED SHALL BE A MIX OF UPLAND AND WETLAND NATIVE SHRUBS, GRASSES AND HERBACEOUS PLANT MATERIAL ARRANGED IN A NATURAL CONFIGURATION STARTING FROM THE MORE UPLAND SPECIES AT THE OUTERMOST ZONE OF THE SYSTEM TO MORE WETLAND SPECIES AT THE INNERMOST ZONE. PLANTS SHALL BE CONTAINER GROWN WITH A WELL ESTABLISHED ROOT SYSTEM, PLANTED ON ONE-FOOT CENTERS. THE BASIN SHALL NOT BE SEEDS AS THIS TAKES TOO LONG TO ESTABLISH THE DESIRED ROOT SYSTEM. SHREDDED HARDWOOD MULCH SHALL BE APPLIED UP TO 2 INCHES TO HELP KEEP SOIL IN PLACE. SEE PLANTING PLAN FOR DETAILS.
- FILTER FABRIC SHALL HAVE A MINIMUM FLOW RATE OF 125 GPM/SQ.FT.

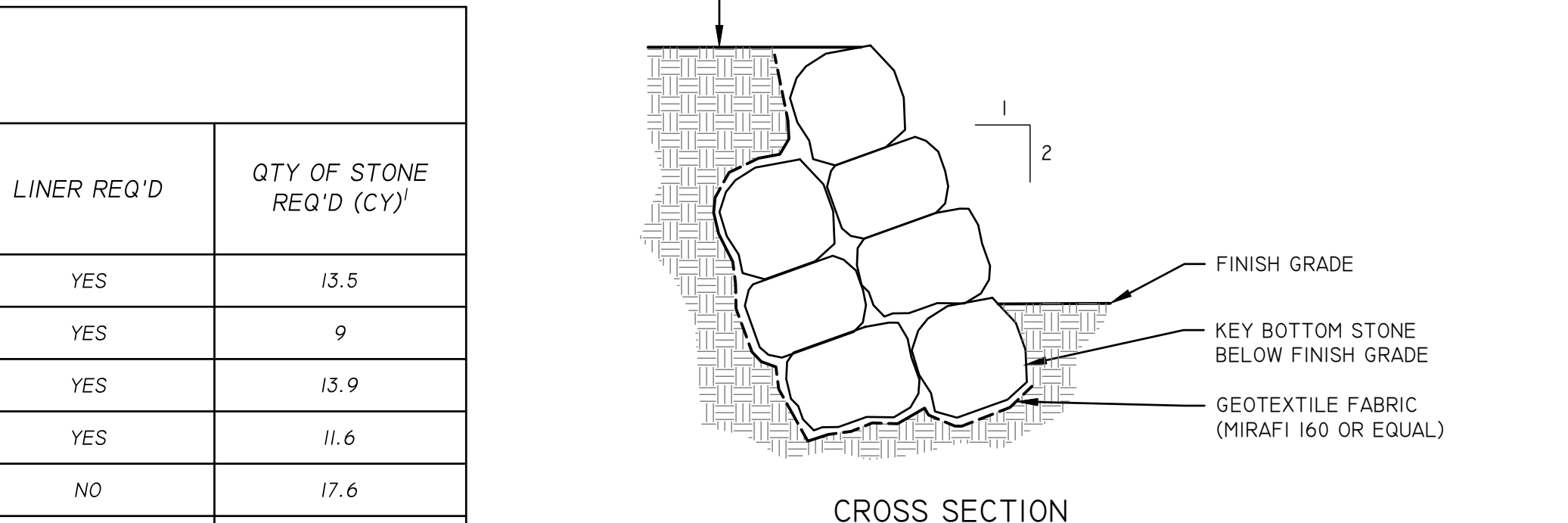
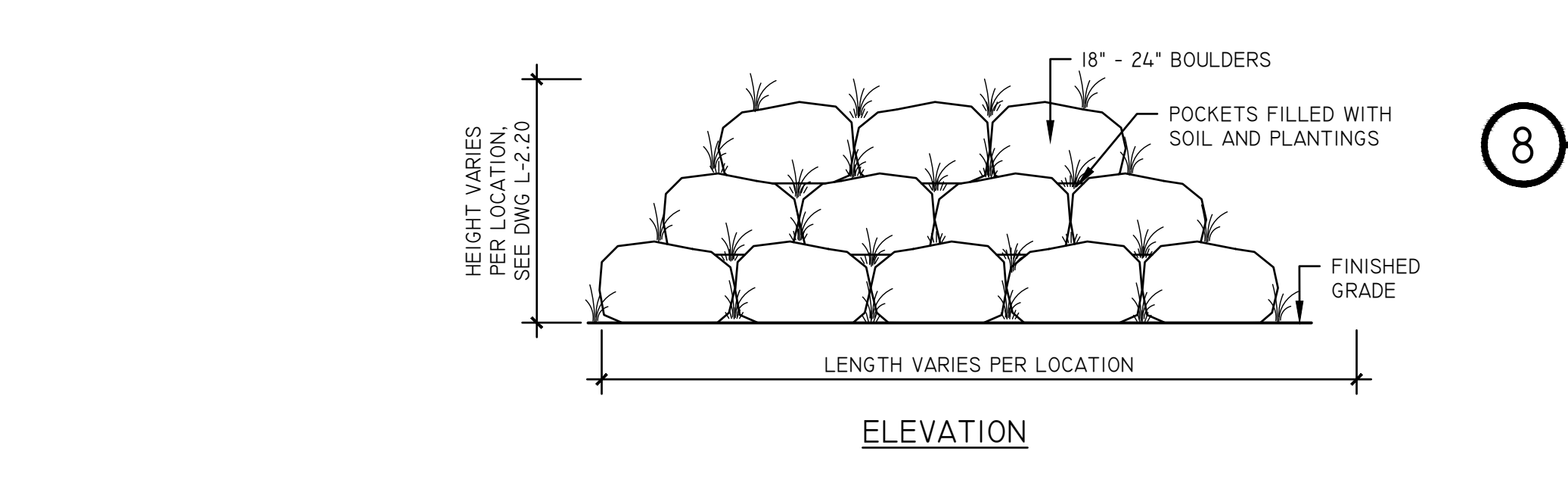
BIORETENTION BASIN SCHEDULE									
BASIN ID	T/BERM	T/SOIL MEDIA	T/STONE LAYER	B/STONE LAYER & UNDERDRAIN INV. EL.	BASIN RIM EL.	OUTLET PIPE INLET INV. EL.	OUTLET PIPE OUTLET INV. EL.	LINER REQ'D	QTY OF STONE REQ'D (CY)
BR-1	1866.0'	1865.5'	1863.0'	1862.5'	1866.0'	1862.75'	1862.0'	YES	13.5
BR-2	1863.5'	1863.0'	1860.5'	1860.0'	1863.5'	1861.83'	1861.0'	YES	9
BR-3	1863.5'	1863.0'	1860.5'	1860.0'	1863.5'	1861.83'	1861.0'	YES	13.9
BR-4	1868.5'	1868.0'	1865.5'	1865.0'	1868.5'	1865.33'	1864.16'	YES	11.6
BR-5	1878.5'	1878.0'	1875.5'	1875.0'	1878.5'	1875.5'	1868.0'	NO	17.6
BR-6	1879.0'	1878.5'	1876.0'	1875.5'	1878.5'	1876.0'	1875.5'	NO	4.4
BR-7	1874.0'	1873.5'	1871.0'	1870.5'	1874.0'	1872.33'	1872.25'	NO	2.6
BR-8	1875.0'	1874.5'	1872.0'	1871.5'	1875.0'	1873.0'	1872.5'	NO	7.5
BR-9	1875.5'	1875.0'	1872.5'	1872.0'	1875.5'	1872.5'	1868.0'	NO	17.6
BR-10	1874.0'	1873.5'	1871.0'	1870.5'	1874.0'	1871.0'	1867.5'	NO	3
BR-11	1874.5'	1874.0'	1871.5'	1871.0'	1874.5'	1871.5'	1869.0'	YES	6.8
BR-12	1874.5'	1874.0'	1871.5'	1871.0'	1874.5'	1871.5'	1867.0'	YES	6.7
BR-13	1866.5'	1866.0'	1863.5'	1863.0'	1866.5'	1863.5'	1860.0'	YES	4.3
BR-14	1868.0'	1867.5'	1865.0'	1864.5'	1868.0'	1865.0'	1861.0'	YES	14.4

**NOTE:**  
1. PRETREATMENT FOR EACH BASIN SHALL BE PROVIDED VIA AN 18-INCH DEEP GRAVEL DIAPHRAGM CONSISTING OF RIVER ROCK INSTALLED AT THE GRADES AND DIMENSIONS SHOWN ON THE PLANS. PROVIDE A VOLUME OF STONE EQUAL TO THAT INDICATED ON THIS SCHEDULE.

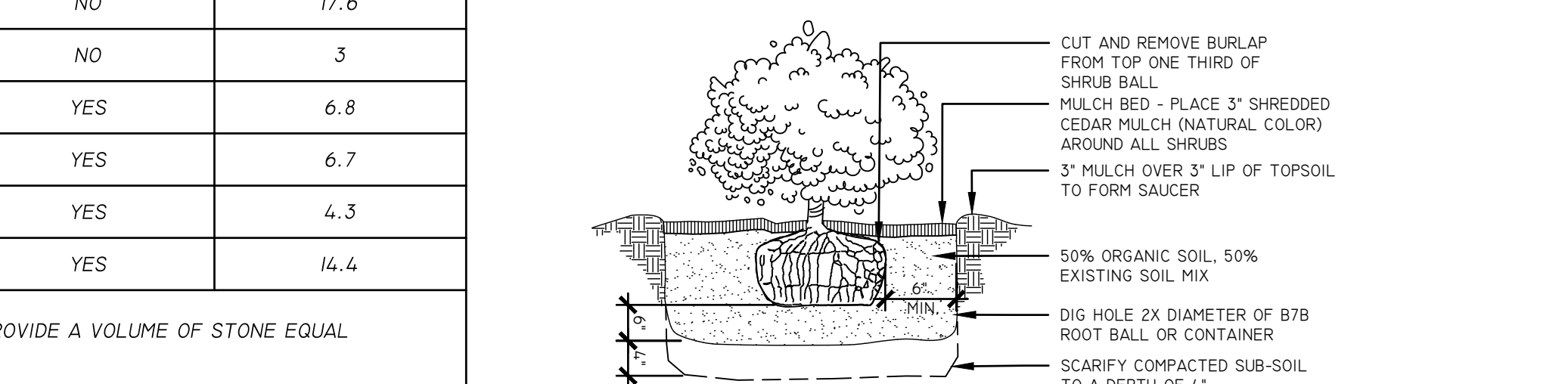
**2 BIORETENTION/ BIOFILTRATION BASIN DETAIL**  
SCALE: N.T.S.



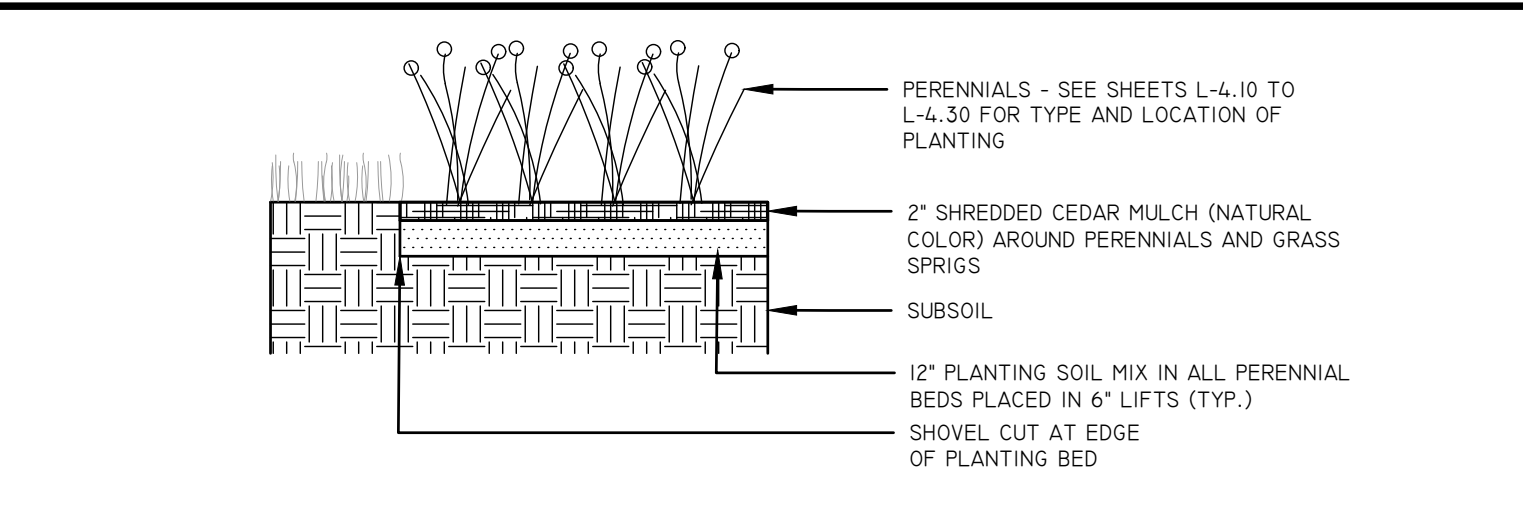
**3 STONE OUTLET PROTECTION DETAIL**  
SCALE: N.T.S.



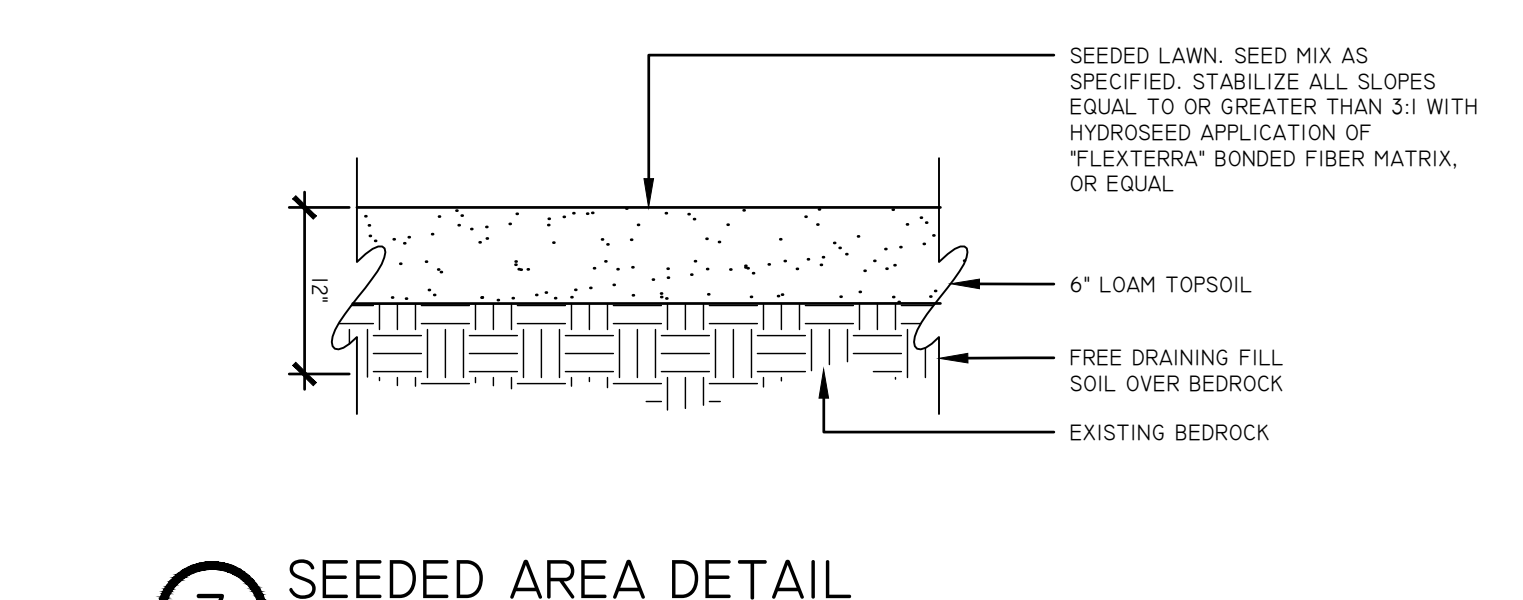
**4 BOULDER STABILIZED SLOPE**  
SCALE: N.T.S.



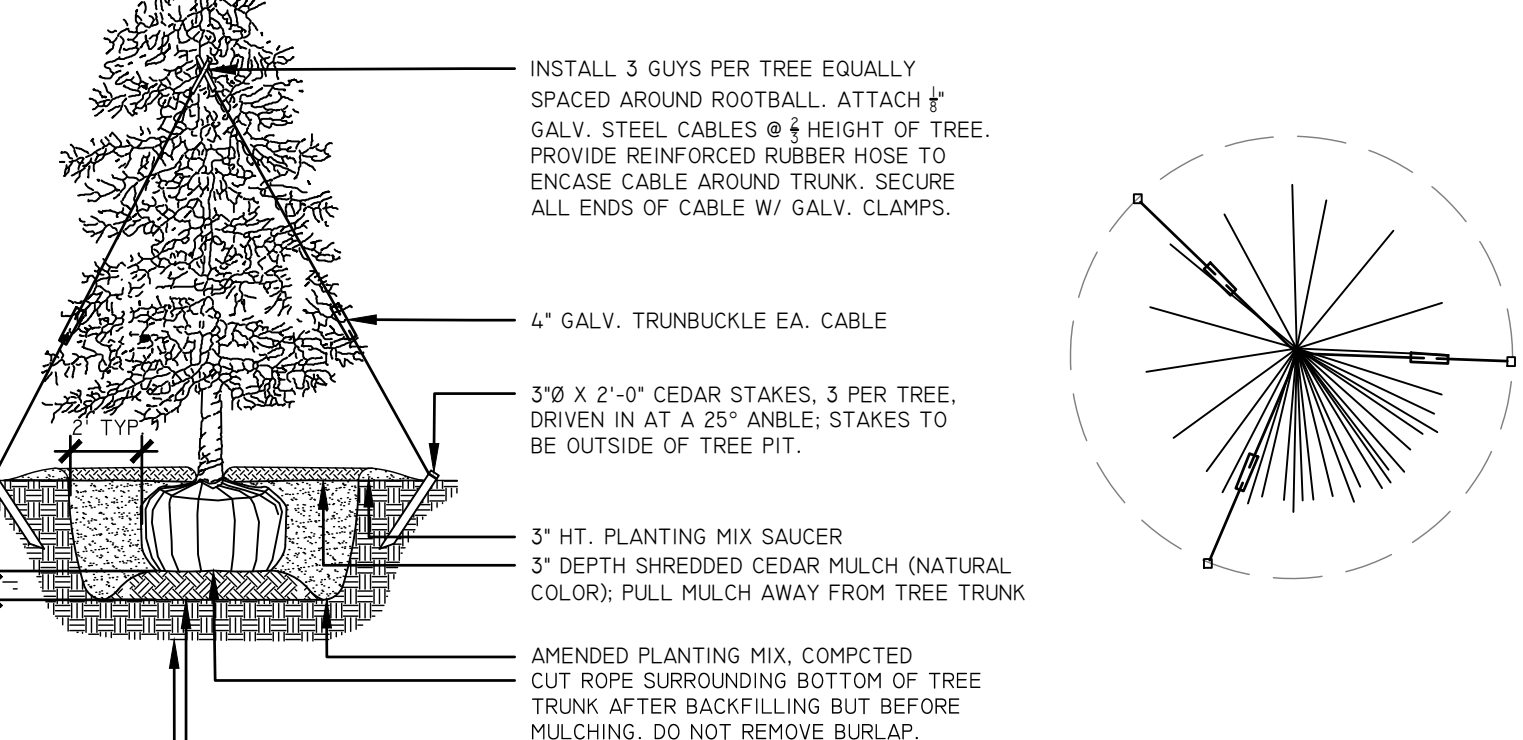
**5 BALLED & BURLAPPED (B&B) DETAIL**  
SCALE: N.T.S.



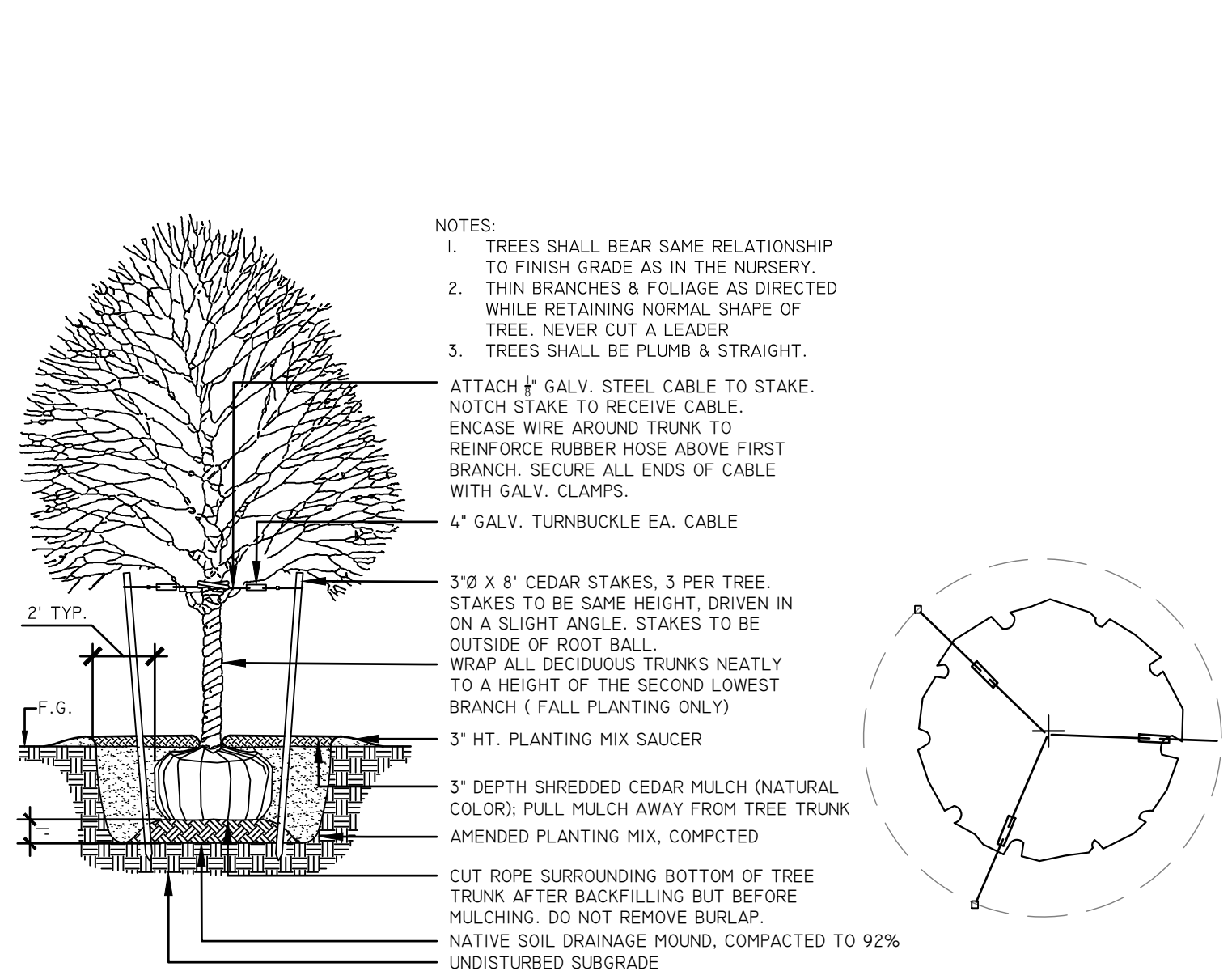
**6 PERENNIAL & GRASS PLANTING DETAIL**  
SCALE: N.T.S.



**7 SEEDS AREA DETAIL**  
SCALE: N.T.S.



**8 EVERGREEN TREE PLANTING DETAIL**  
SCALE: N.T.S.



**9 DECIDUOUS TREE PLANTING DETAIL**  
SCALE: N.T.S.

**TANNERSVILLE**  
LANDSCAPE ARCHITECTURE & ENGINEERING, DPC

**Department of State**  
This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

**Community Planning and Environmental Associates**

**STUDIO A**  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

LANDSCAPE ARCHITECTURE & ENGINEERING, DPC

MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY OF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS	DATE	DESCRIPTION	ADDEN. 1 - ELECTRIC	ADDEN. 2 - PLANTING	REVISIONS FOR RE-BID	REVISIONS FOR RE-BID #2
	01/26/23					
	02/06/23					
	04/14/23					
	06/12/23					

PREPARED FOR  
**VILLAGE OF TANNERSVILLE**  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
**RIP VAN WINKLE LAKE PARK**

DRAWING TITLE  
**CONSTRUCTION DETAILS**

DATE: 09/20/2022

PROJECT NO.  
210161

DRAWING NO.  
**L-5.40**

DWG 16 OF 20



This project uses funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.



studioA  
Landscape Architecture + Engineering, DPC

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION AND SPECIFIC DESCRIPTION OF THE ALTERATION.



REVISIONS	DATE	DESCRIPTION	REVISIONS FOR RE-BID #2
	01/26/23	ADDEN. 1 - ELECTRIC	
	02/06/23	ADDEN. 2 - PLANTING	
	04/14/23	REVISIONS FOR RE-BID	
	06/12/23		

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
GOTHIC ARCH PAVILION FLOOR PLAN, ELEVATION, AND DETAILS

DATE: 09/20/2022

PROJECT NO.  
21061

DRAWING NO.  
A-1.10

DWG 17 OF 20

SCALE: N.T.S.

40'-3"

7'-0 3/8" TYP

2'

30'

26" OUT-OUT

2x8nom Cedar Fascia

2x8nom Sway Brace

Steel Base Shoe (Powder Coated) w/ 3/4" Anchor Bolts F1554 HEADED ANCHORS (By Others)

4" Slab

5'-0"

3"

#5 Vertical Ties 6 Equally Spaced

#4 Horiz Tie 8" O.C.

3" DIA

2x8nom Cedar Rake/Fascia

PEAK CONNECTOR (SC-1)

8'-0"

23ga Standing Seam Metal Roofing

2" X 8" ALASKAN YELLOW CEDAR FASCIA

MODEL NUMBER: GAP3040 SHOWN WITH STANDARD OPTIONS

DESCRIPTION: 30x40 Gothic Arch Pavilion

Possible Options:

<input type="checkbox"/> STANDING SEAM ROOF	<input type="checkbox"/> METAL SAWN SHINGLES	<input type="checkbox"/> LIGHTNING PROTECTION
<input type="checkbox"/> CEDAR SHINGLES	<input type="checkbox"/> STEEL COLLUMNS	<input type="checkbox"/> 2 TIER ROOF
<input type="checkbox"/>	<input type="checkbox"/> CUSTOM ROOF PITCH	<input type="checkbox"/> GUPOLA

REVISIONS DATES DRAWN BY DATE

JES 08-18-22

SHEET: 1 OF 1

© Copyright 2022 these drawings and the intellectual property of CFP and shall not be copied or disclosed to any unauthorized party in part or its entirety without our written permission, and they shall not be used for construction unless approved by a CFP Representative.

F.O. BOX 145  
WEST OLIVE, MI 49460  
800-552-9495  
WWW.CEDAREFORESTPRODUCTS.COM

PRELIMINARY  
NOT FOR CONSTRUCTION

1 GOTHIC ARCH PAVILION

SCALE: N.T.S.

EXTERIOR GRADE SHEATHING

(3)2X6 FRAME OR AS REQ'D TO MEET 2'-0" WIDTH

MORTAR JOINTS

(2) LAYERS WRB WIRE LATH

POST

MORTAR SETTING BED

THIN STONE VENEER (LOCALLY-SOURCED LIMESTONE)

PLAN

2'-0"

POST

FLEXIBLE SEALANT AT STONE/POST INTERFACE

BLUESTONE CAP W/ 1-1/2 IN. OVERHANG, 2" THICK

THIN STONE VENEER IN MORTAR BED (LOCALLY-SOURCED LIMESTONE)

WEEP SCREED OR DRIP SCREED

POST FOUNDATION

SECTION

3'-0"

FINISH GRADE

BEDDING SEAL UNDER FLASHING

INSPIRATION IMAGE:

NOTES:

- A MINIMUM OF 1/2" CLEARANCE SHALL BE MAINTAINED AT ALL SIDES OF THE BASE.
- ALL MATERIALS SHALL BE EXTERIOR GRADE

2 THIN STONE VENEER COLUMN WRAP AT GOTHIC ARCH PAVILION

SCALE: N.T.S.

DESIGN BY: STUDIO A  
DRAWN BY: OR/IN/ALS  
CHECKED BY: KC/PH/JA

SCALE: 1/8" = 1'-0"  
DATE: 09/20/2022 2:59 PM  
FILE NAME: Z:\PROJECTS\2022\21061 - Village of Tannersville\DWG\17-A-1.10-PAVILION.dwg

### MOUNTING HEIGHTS

UNLESS OTHERWISE NOTED, MOUNT DEVICES AND EQUIPMENT AT HEIGHTS MEASURED FROM FINISHED FLOOR TO DEVICE/EQUIPMENT CENTERLINE AS LISTED BELOW.

WHERE STRUCTURAL OR OTHER INTERFERENCES PREVENT COMPLIANCE WITH MOUNTING HEIGHTS LISTED BELOW, CONSULT OWNER'S REPRESENTATIVE FOR APPROVAL TO CHANGE LOCATION BEFORE INSTALLATION.

TOGGLE SWITCHES 48"

RECEPTACLE OUTLETS, WEATHER PROOF, ABOVE GRADE 24"

BRANCH CIRCUIT PANELBOARDS, TO THE TOP OF THE BACKBOX 72"

DISTRIBUTION PANELBOARDS, TO THE TOP OF THE BACKBOX 72"

TERMINAL CABINETS, CONTROL CABINETS TO THE TOP OF THE BACKBOX 72"

DISCONNECT SWITCHES, MOTOR STARTERS, ENCLOSED CIRCUIT BREAKERS 48"

### GENERAL

- REMOVAL NOTE
- INSTALLATION NOTE
- OFFSET FOR CLARITY
- FEEDER DESIGNATION REFER TO FEEDER SCHEDULE

### POWER

- DUPLEX RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE
- NON-FUSED DISCONNECT
- FUSED DISCONNECT
- ENCLOSED CIRCUIT BREAKER
- EXISTING SURFACE MOUNTED PANELBOARD
- SURFACE MOUNTED PANELBOARD
- INDICATES HOMERUN TO PANEL PANEL NAME AND CKT NUMBERS INDICATED PROVIDE (2) #12 AWG, (1) #12 AWG EGC IN 3/4" UNLESS OTHERWISE NOTED

### SITE

- UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- UNDERGROUND TELECOMMUNICATIONS
- EXISTING UNDERGROUND TELECOMMUNICATIONS
- OVERHEAD ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- HAND HOLE
- UTILITY POLE

### LIGHTING

- DECORATIVE SITE LIGHT FIXTURE REFER TO LUMINAIRE SCHEDULE
- PHOTOCCELL
- TIME CLOCK

### GENERAL NOTES - ELECTRICAL INSTALLATION

- A. COORDINATE DEVICE LOCATIONS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN. VERIFY DEVICE LOCATIONS ABOVE MILLWORK TO ENSURE CLEARANCE ABOVE THE COUNTER-TOP AND BACKSPLASH. DEVICES THAT INTERFERE WITH NEW CASEWORK, MILLWORK OR EQUIPMENT SHALL BE RELOCATED AT NO ADDITIONAL COST TO THE CONTRACT.
- B. COORDINATE ALL CONDUIT RUNS WITH OTHER TRADES PRIOR TO ROUGH-IN. RELOCATE ANY CONDUITS AS NECESSARY TO PERMIT INSTALLATION OF DUCTWORK OR PIPING.
- C. INSTALL ALL CIRCUITING CONCEALED INSIDE WALL CAVITY WHERE EVER POSSIBLE. PROVIDE SURFACE MOUNTED BACKBOXES AND RACEWAY FOR WIRING DEVICES LOCATED ON EXISTING SOLID WALL CONSTRUCTION. PROVIDE SHALLOW TYPE BACKBOXES FOR SURFACE MOUNTED POWER AND SWITCHING APPLICATIONS. REFER TO ARCHITECTURAL PLANS FOR WALL TYPES.
- D. OBTAIN WIRING AND INSTALLATION DIAGRAMS FOR ALL ELECTRICAL CONNECTIONS TO EQUIPMENT PROVIDED BY THE GENERAL, MECHANICAL OR PLUMBING CONTRACTORS PRIOR TO ROUGHING. WORK THAT IS NOT PROPERLY COORDINATED WILL BE RELOCATED AT NO COST TO THE OWNER.

### GENERAL NOTES - POWER DISTRIBUTION

- A. PROVIDE (2)#10, (1)#10 EGV WIRING FOR 120V, 20A BRANCH CIRCUITS EXCEEDING 100 FEET.
- B. THE DRAWINGS SHOW GENERAL LOCATION OF DEVICES AND CONTROL EQUIPMENT. THE CONTRACTOR SHALL INSTALL ALL DEVICES AND CONTROLS TO MEET ALL NEC REQUIREMENTS. COORDINATE THE EXACT LOCATION IN THE FIELD IN CONSULTATION WITH THE OWNER'S REPRESENTATIVE.
- C. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL CONNECTIONS TO ELECTRICAL EQUIPMENT PROVIDED BY OTHERS PRIOR TO ROUGH-IN.
- D. PROVIDE DEDICATED NEUTRALS FOR ALL 120V, 20A, SINGLE PHASE BRANCH CIRCUITS.
- E. WHERE BREAKERS ARE INSTALLED IN EXISTING PANELBOARDS, THE BREAKERS SHALL BE LISTED/LABELLED FOR USE IN THE EXISTING PANEL AND THE KAIC RATING SHALL MATCH THE KAIC RATING OF THE EXISTING PANEL.

### GENERAL NOTES - ELECTRICAL SITE

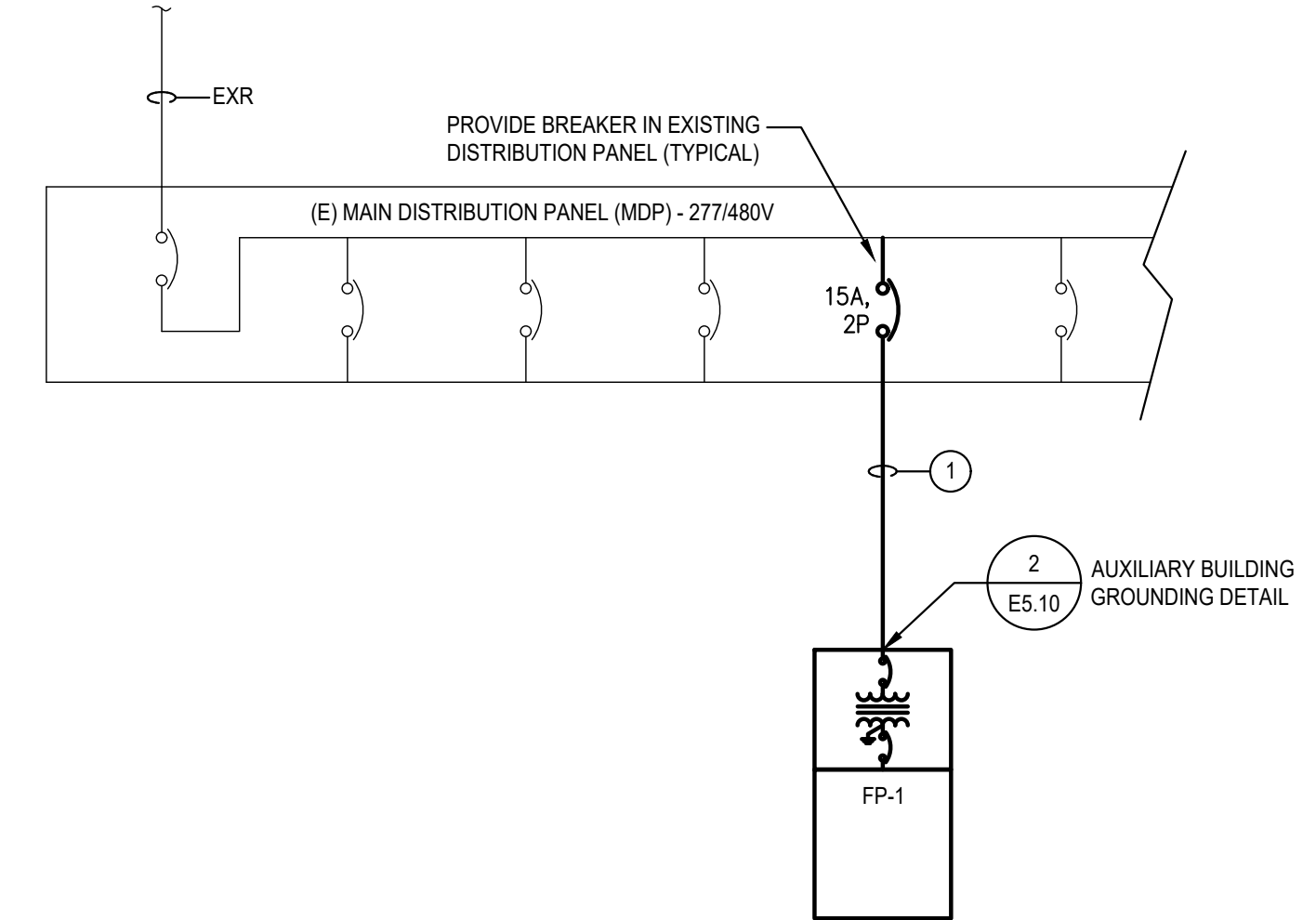
- A. UNLESS OTHERWISE NOTED ALL CONDUITS ON THE SITE ARE DIRECT BURIED. REFER TO DETAIL 1 ON DRAWING ES.10 FOR ADDITIONAL INFORMATION.
- B. ALL EXCAVATION, BACKFILL, AND PATCHING TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- C. UNLESS OTHERWISE NOTED, FOR UNDERGROUND CONDUIT RUNS, PROVIDE SCHEDULE 80 PVC CONDUITS FOR HORIZONTAL UNDERGROUND CONDUIT SECTIONS. PROVIDE PVC-TO-GRS-ADAPTERS, GRS 90 DEGREE SWEEPS, AND GRS VERTICAL CONDUIT SECTIONS.
- D. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION WORK.
- E. VERIFY FINAL GRADE ELEVATIONS WITH SITE CONTRACTOR PRIOR TO SETTING HANDHOLES, PULLBOXES AND POLES. CONDUITS, HANDHOLE COVERS, AND CONCRETE EQUIPMENT PADS SHALL BE COORDINATED WITH FINAL GRADES INDICATED ON SITE CONTRACTOR'S PLANS.
- F. WHERE EXISTING UNDERGROUND ELECTRICAL UTILITIES ARE ABANDONED IN PLACE, CUT CONDUITS A MINIMUM OF 18" BELOW GRADE AND PROVIDE CAPS ON BOTH ENDS.

### LIGHTING FIXTURE SCHEDULE

DESIGNATION	DIMENSIONS	TYPE	CONSTRUCTION	REFLECTOR/ BAFFLE	LENS	LIGHT SOURCE/LAMP	LUMENS	COLOR TEMPERATURE	BALLAST DRIVER	VOLTAGE	FIXTURE WATTAGE	MOUNTING/ CEILING TYPE	DESIGN MAKE	ACCEPTABLE MANUFACTURERS	NOTES
LA		DECORATIVE 42" BOLLARD LIGHT FIXTURE. FINISH AND TRIM OPTIONS TO BE SELECTED BY ARCHITECT	HEAVY DUTY CAST ALUMINUM HOUSING WITH ACRYLIC LENS	TYPE 3 DISTRIBUTION	FULLY SEALED IP66 RATED LENS	LED	3,850	4,000K	---	UNV	54	BOLLARD BASE	GARCO PUREFORM "PBL" BOLLARD	EATON/COOPER HUBBELL	
LB		ADJUSTABLE IN GROUND FIXTURE. ADA WALKOVER COMPLIANT. STAINLESS STEEL TRIM RING FOR CONCRETE POUR APPLICATIONS.	CORROSION-PROOF, FIBERGLASS REINFORCED POLYESTER COMPOSITE.	NARROW BEAM	3/8" THICK TEMPERED GLASS	---	3,000	4,000K	STANDARD	UNV	33	IN GROUND	HADCO FLEXSCAPE LED "SL43" SERIES	EATON/COOPER HUBBELL	

### PANELBOARD SCHEDULE - FP-1

CKT	DESCRIPTION	BREAKER	LTG	RCPT	EQUIP	HTG	KVA LOAD	BREAKER	DESCRIPTION	CKT
1	FLOATING FOUNTAIN	15A/2P GF1			1.1			20A/1P	SPARE	2
3								20A/1P	SPARE	4
5	SPACE								SPACE	6
7	SPACE								SPACE	8
9	SPACE								SPACE	10
LEFT SIDE SUB-TOTAL					1.10			RIGHT SIDE SUB-TOTAL		
CONNECTED SUB-TOTAL					1.10					
DEMAND FACTOR			1.0	10+1/2	.8	.8				
SUB-TOTAL					1.10					
TOTAL KVA					1.10					
TOTAL AMPS					5.6 @ 240V					



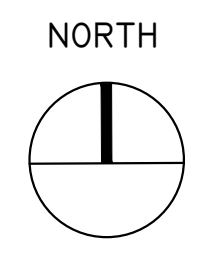
### FEEDER SCHEDULE

DESIGNATION	SOURCE	LOAD	OCPD	PHASE	NEUTRAL	GROUND	CONDUIT	NOTES
(1)	MDP	FP-2	15A	(2) #B	---	(1) #10	1"	

### 1 One-Line Diagram

SCALE: NONE

Engineered Solutions  
646 Park Road #104  
Catskill, NY 12014  
phone: (518) 280-2410  
fax: (518) 280-2481  
www.engineered-solutions.net  
ES # 22056



MAP REFERENCE:  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18, 2017.

DIG SAFE NOTE:  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.



studioA  
Landscape Architecture + Engineering, DPC

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS	DATE	DESCRIPTION

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK

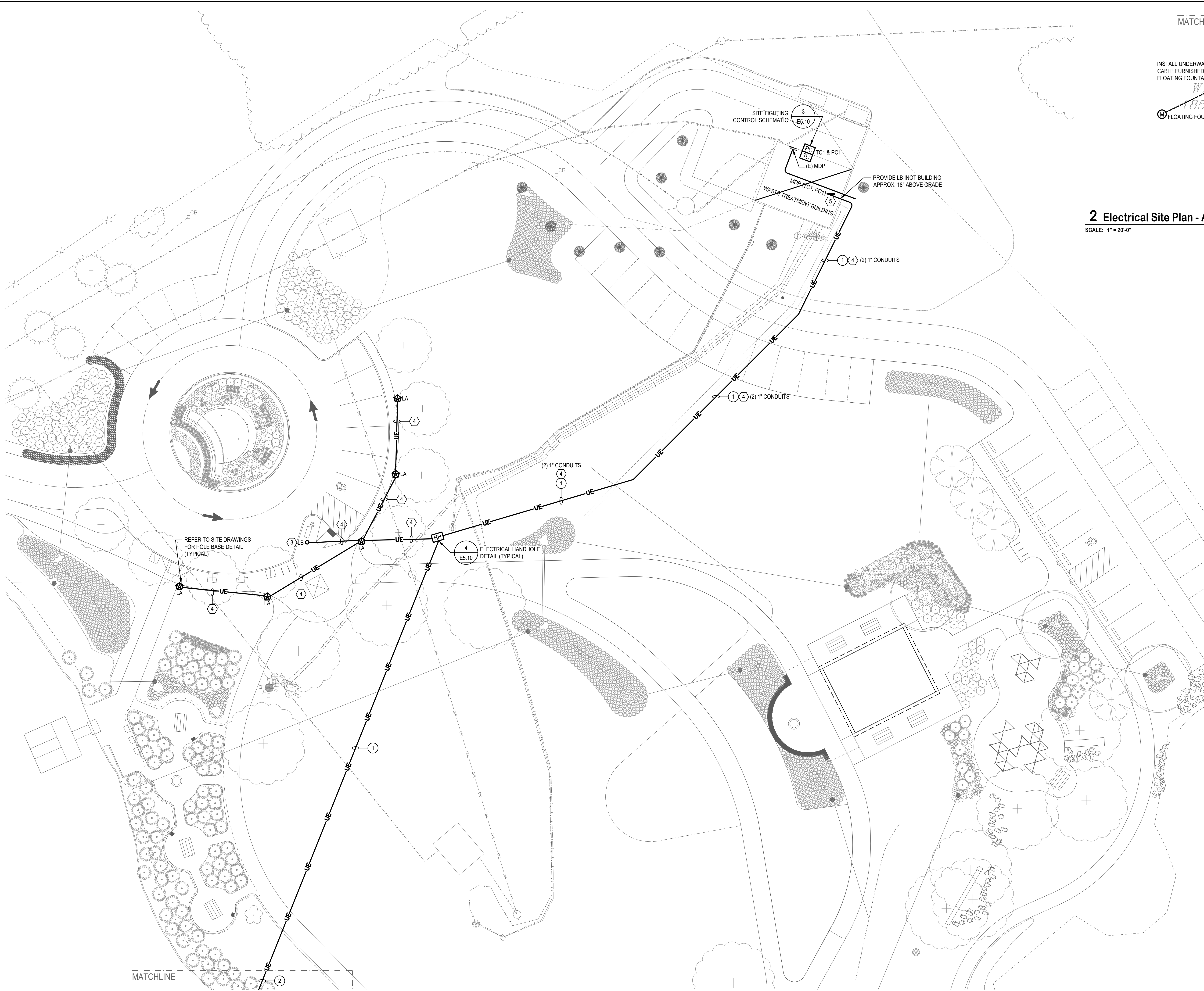
DRAWING TITLE  
ELECTRICAL LEGEND AND SCHEDULE

DATE: 06/17/2022

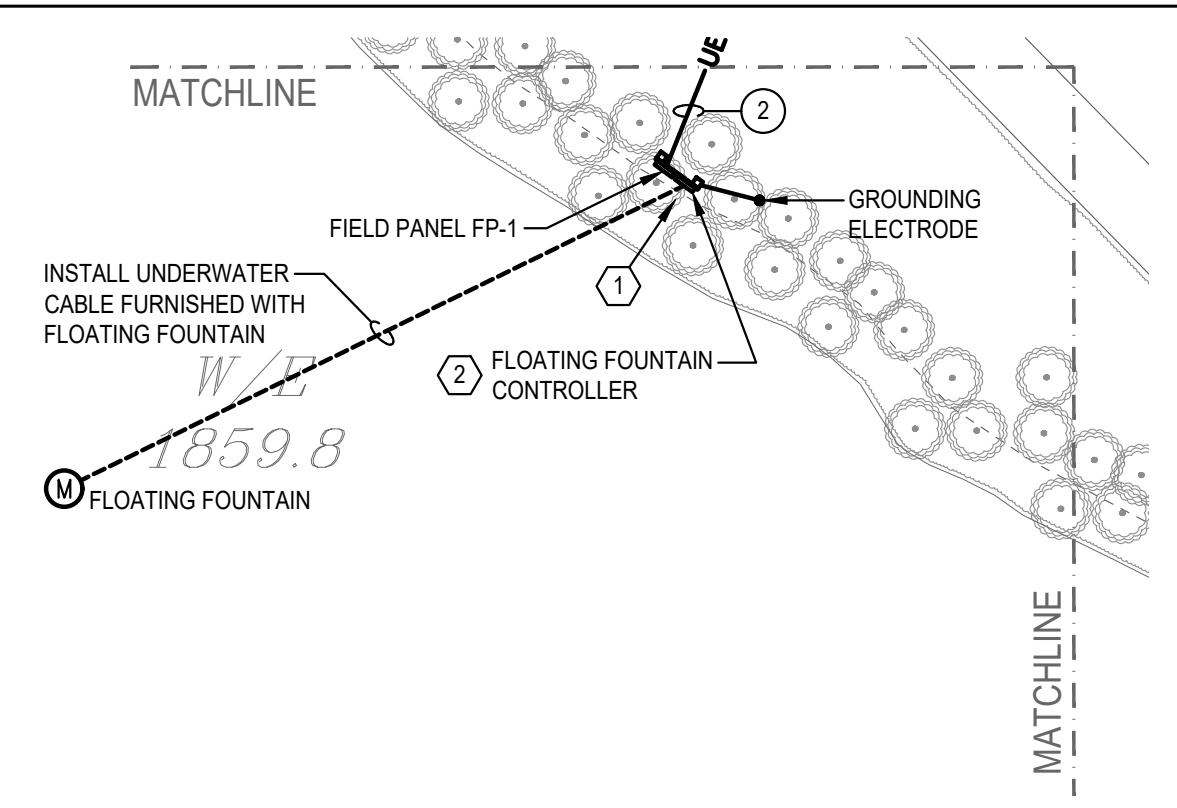
PROJECT NO.  
21061

DRAWING NO.  
E0.10

DWG 18 OF 20



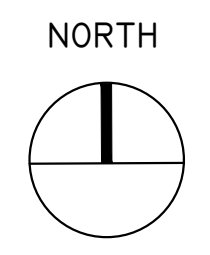
**1 Electrical Site Plan - Area A**  
SCALE: 1" = 20'-0"



**2 Electrical Site Plan - Area B**  
SCALE: 1" = 20'-0"

- DRAWING NOTES:**
1. PROVIDE MOUNTING PEDESTAL FOR FIELD PANEL FP-1 AND FLOATING FOUNTAIN CONTROLLER. REFER TO DETAIL 6 ON DRAWING E5.10 FOR ADDITIONAL INFORMATION.
  2. INSTALL FLOATING CONTROLLER FURNISHED WITH FLOATING FOUNTAIN. PROVIDE 280V, SINGLE PHASE, 15A BRANCH CIRCUIT FROM FP-1 TO FOUNTAIN CONTROLLER. INSTALL UNDERWATER FOUNTAIN CABLE FROM CONTROLLER TO FOUNTAIN FURNISHED WITH FLOATING FOUNTAIN.
  3. AIM FIXTURE TO ILLUMINATE FLAG.
  4. SITE LIGHTING BRANCH CIRCUITING: PROVIDE (2) #10, (1) #10 EG IN 1" CONDUIT.
  5. PROVIDE 277V, 20A BRANCH CIRCUITS FROM MDP FOR SITE LIGHTING. PROVIDE 20A/1P BREAKER IN EXISTING PANEL.

**Engineered Solutions**  
646 Park Road #104  
Catskill Park, NY 12041  
Phone: (518) 280-2410  
Fax: (518) 280-2481  
www.engineered-solutions.net  
engineered-solutions.net



**MAP REFERENCE:**  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18, 2017.

**DIG SAFE NOTE:**  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

**TANNERSVILLE**  
VILLAGE OF TANNERSVILLE  
ESTABLISHED 1814

NEW YORK  
Department of State

Community Planning and Environmental Associates

**studioA**  
Landscape Architecture + Engineering, DPC

**STUDIO A**  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC  
MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866  
OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866  
(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

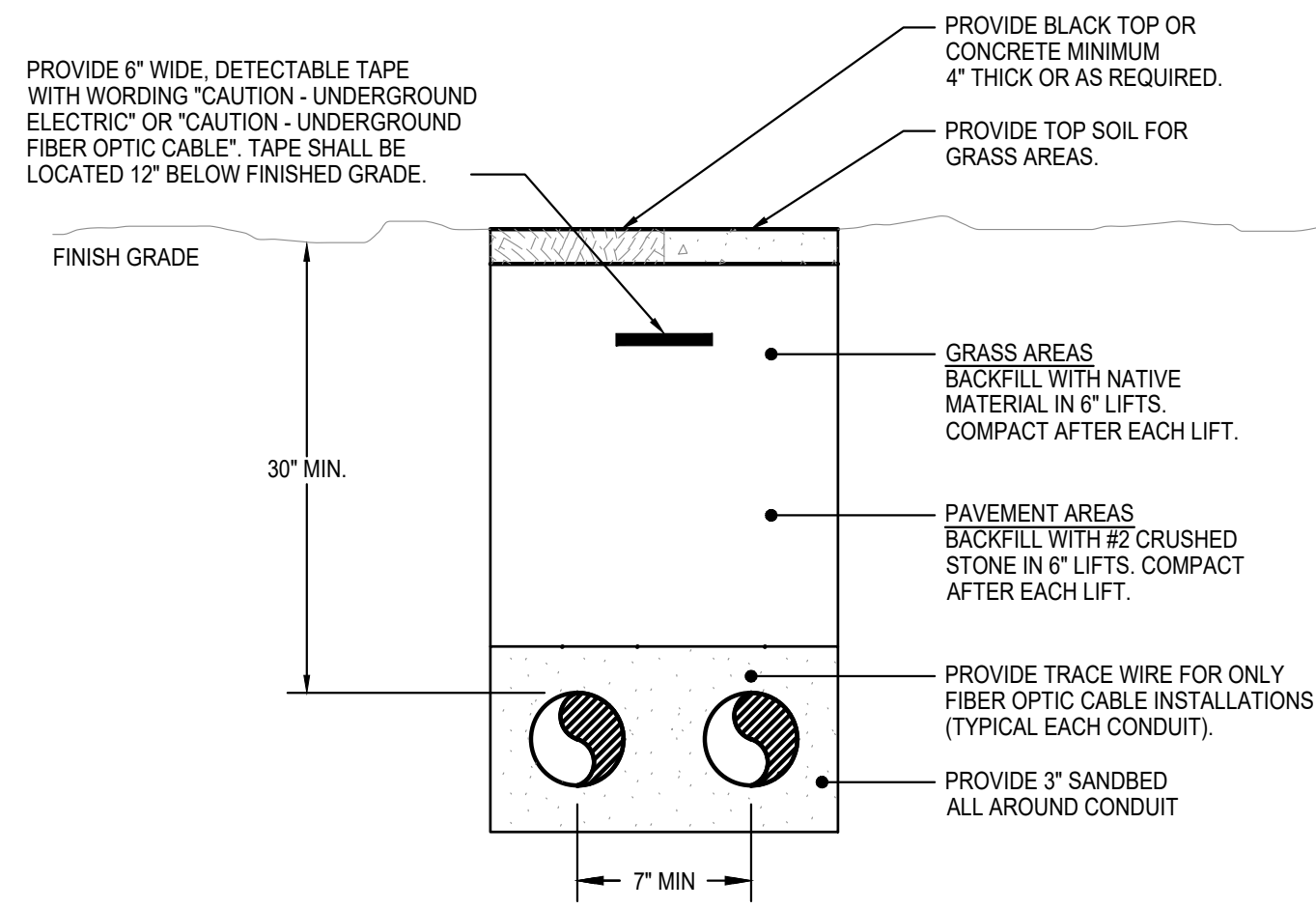
REVISIONS	DESCRIPTION	DATE

PREPARED FOR  
**VILLAGE OF TANNERSVILLE**  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
**RIP VAN WINKLE LAKE PARK**

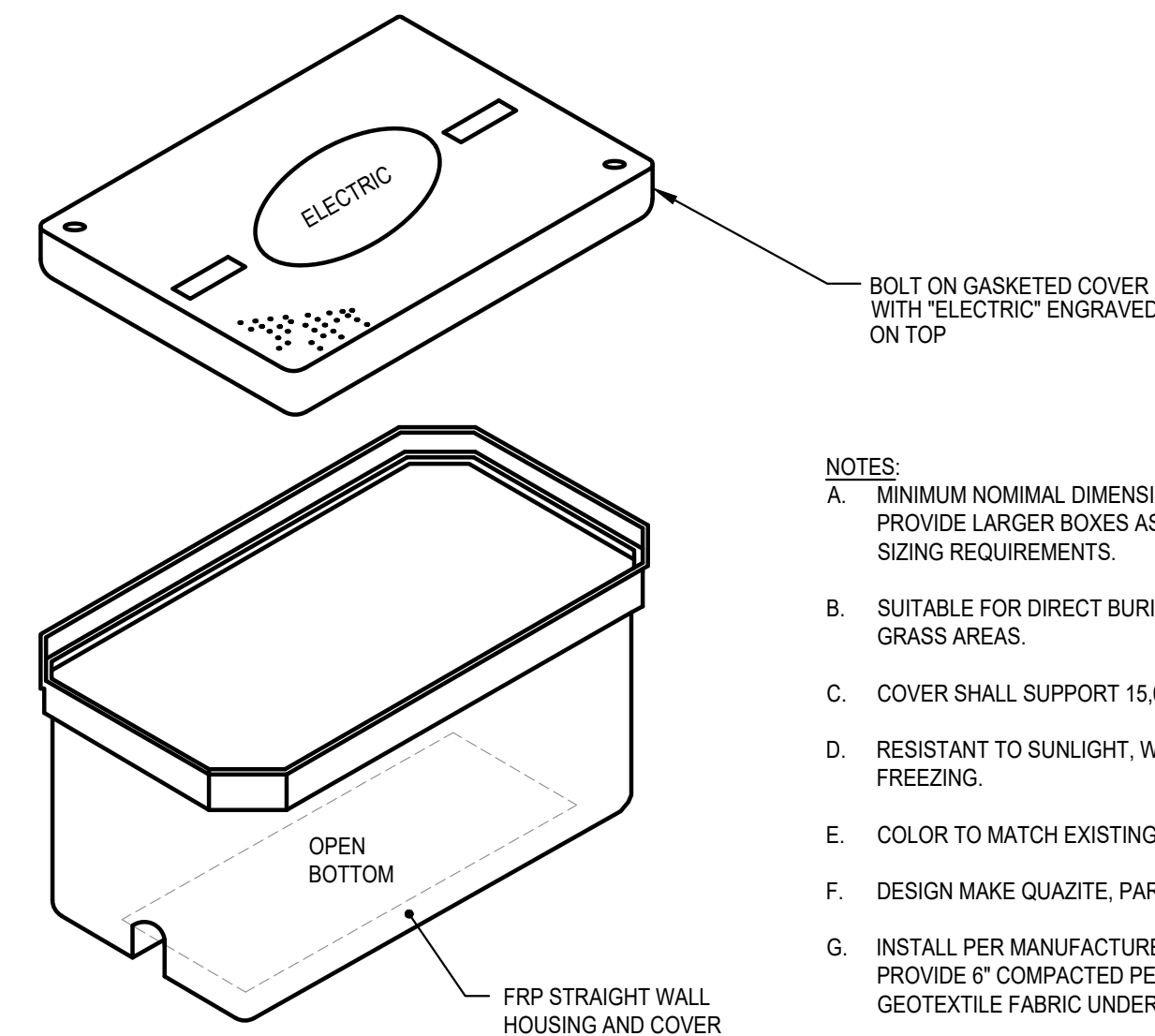
DRAWING TITLE  
**ELECTRICAL SITE PLAN**

DATE: 06/17/2022  
PROJECT NO. 21061  
DRAWING NO. **E1.10**  
DWG 19 OF 20



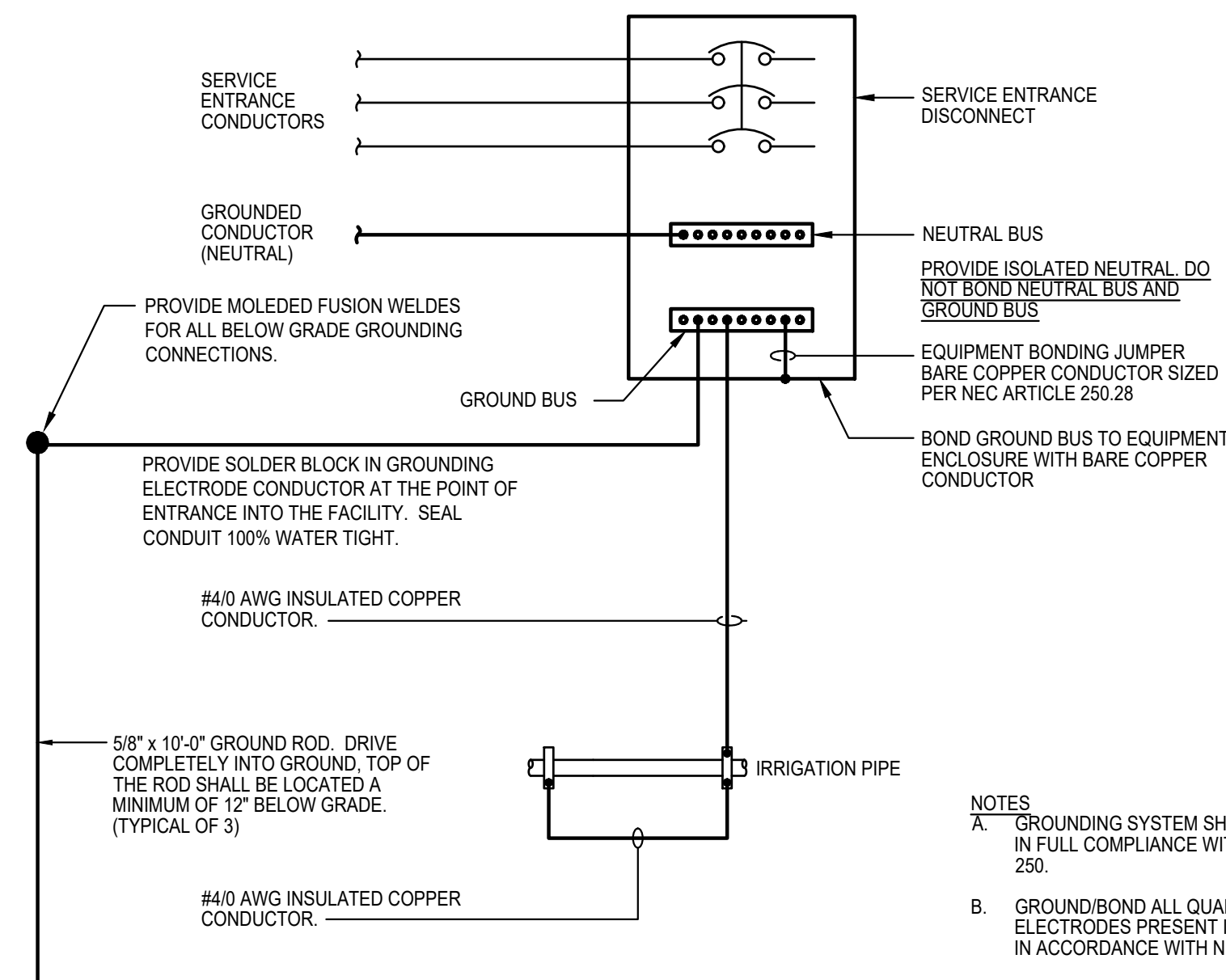
### 1 Direct Buried Conduit Detail

SCALE: NONE



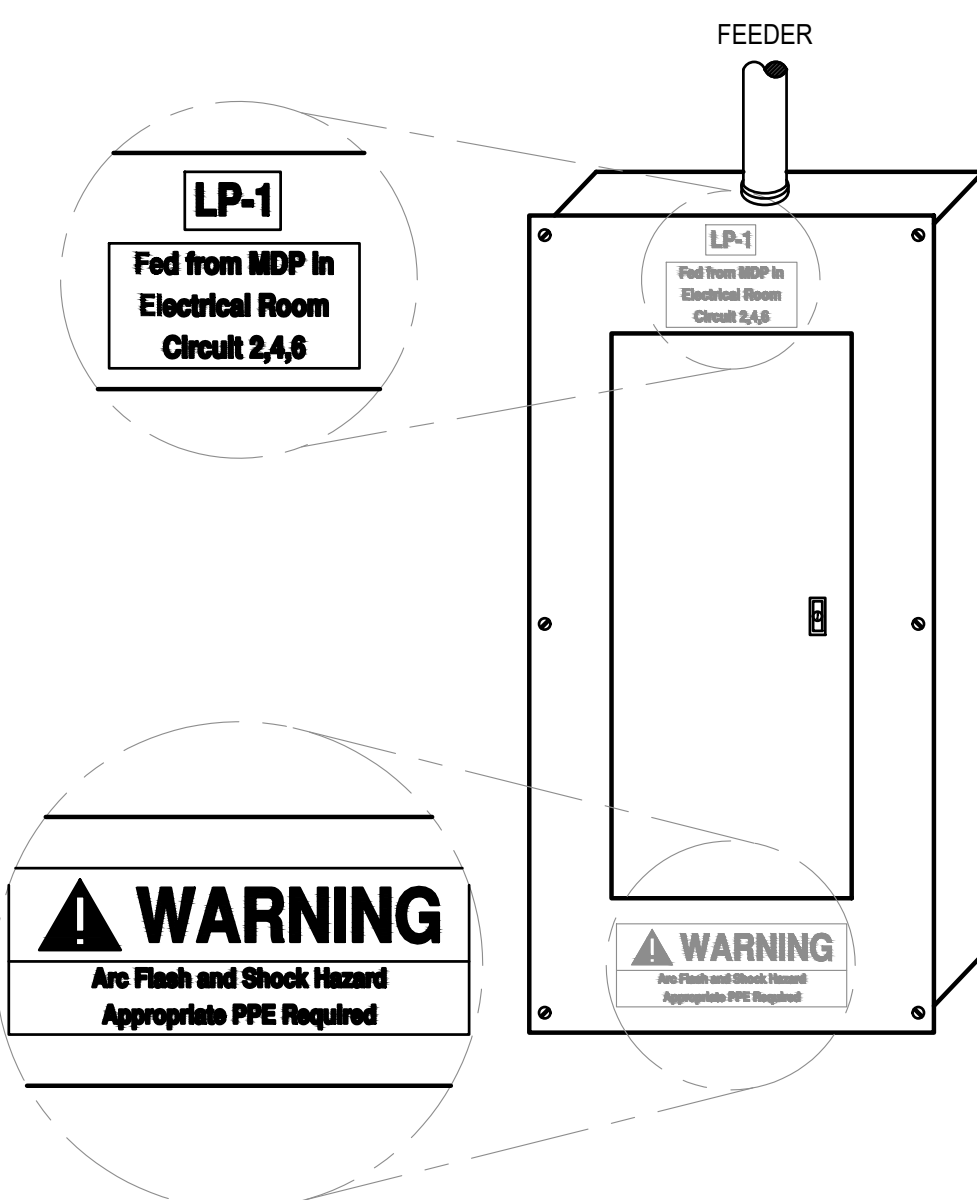
### 4 Electrical Hand Hole Detail

SCALE: NONE



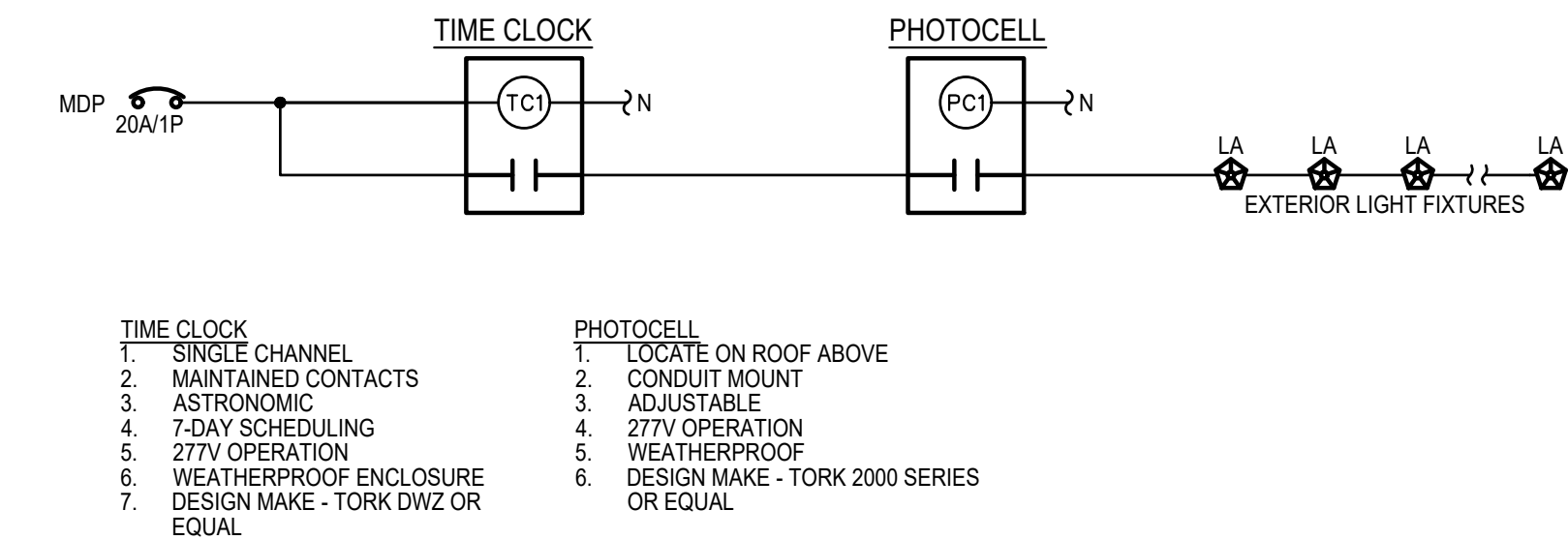
### 2 Aux. Building/Structure Grounding Detail - Wood Construction

SCALE: NONE



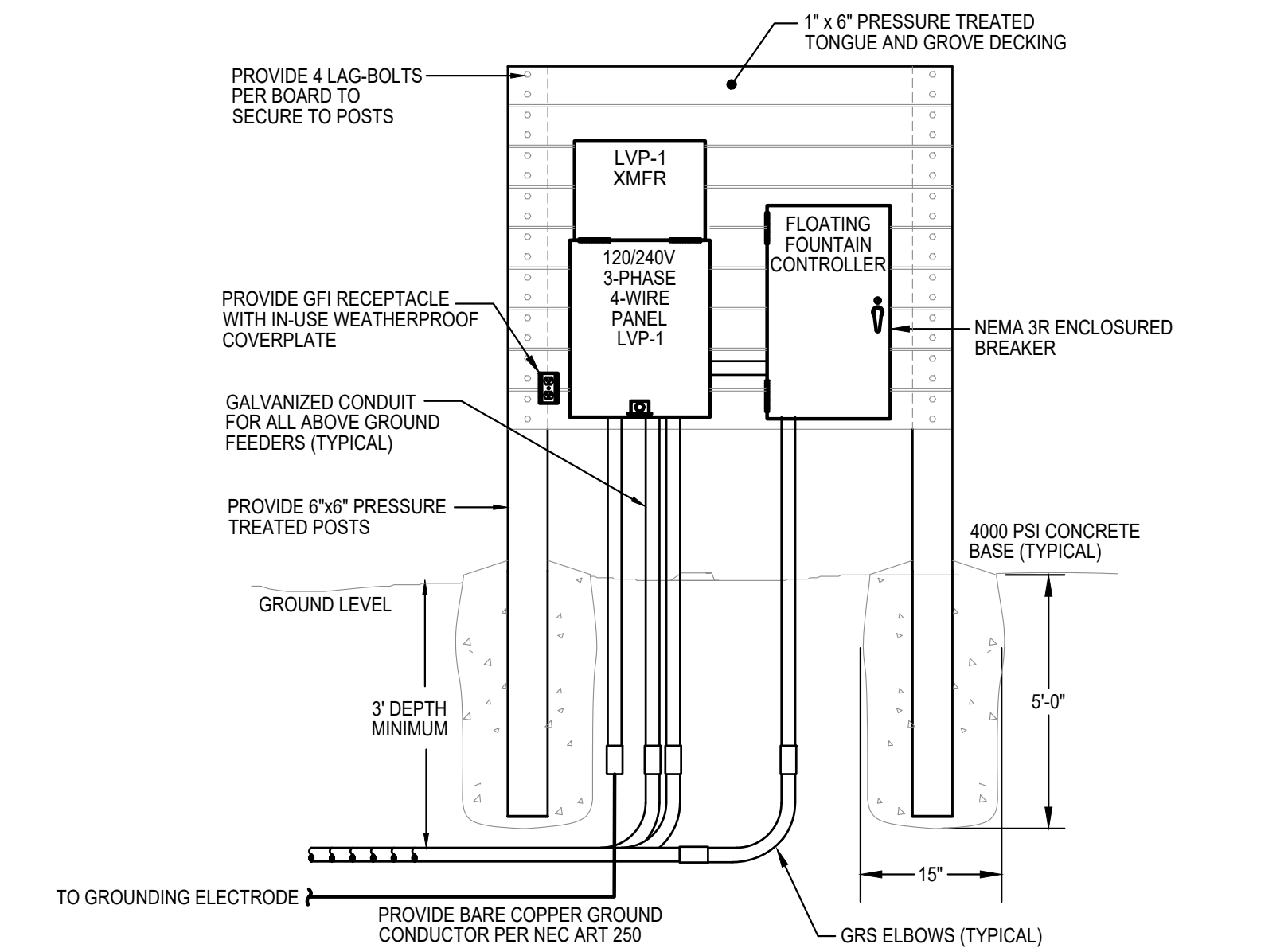
### 5 Aux. Building/Structure Grounding Detail - Wood Construction

SCALE: NONE



### 3 Site Lighting Control Schematic

SCALE: NONE



### 6 Field Electrical Panel Installation Detail

SCALE: NONE



MAP REFERENCE:  
BASE SURVEY INFORMATION OBTAINED FROM TAX PARCEL NO. 182-06-1-38, VILLAGE OF TANNERSVILLE, GREENE COUNTY, NEW YORK. SURVEY PRODUCED BY CATSKILL REGION SURVEYING SERVICES, P.C. ON MAY 18, 2017.

DIG SAFE NOTE:  
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.



NEW YORK STATE OFFICE OF COMMUNITY PLANNING AND ENVIRONMENTAL ASSOCIATES

Community Planning and Environmental Associates

studioA  
Landscape Architecture + Engineering, DPC

STUDIO A  
LANDSCAPE ARCHITECTURE + ENGINEERING, DPC

MAILING:  
PO BOX 272  
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:  
38 HIGH ROCK AVE, SUITE 3  
SARATOGA SPRINGS, NY 12866

(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS	DATE	DESCRIPTION

PREPARED FOR  
VILLAGE OF TANNERSVILLE  
1 PARK LANE  
TANNERSVILLE, NY 12485

PROJECT  
RIP VAN WINKLE LAKE PARK  
DRAWING TITLE  
ELECTRICAL DETAILS

DATE: 06/17/2022

PROJECT NO.  
21061

DRAWING NO.  
E5.10

DWG 20 OF 20